

ITEM SHEET
PROFICIENT TERMITE AND CONSTRUCTION CO
613 QUINAN ST
PINOLE, CA 94564
PHONE (844) 361-9014
PTC.PINOLE@YAHOO.COM
CCL#: 1029933 AND SPCB SL#: PR3691

DATE:	March 3, 2020
REPORT NUMBER:	030320-1
PROPERTY ADDRESS:	309 S 13TH ST, RICHMOND, CA 94804
FURTHER INSPECTION ITEM(S):	5C MAY NEED TO BE DONE IF CERTIFICATION IS REQUIRED
SECTION 1 ITEM(S):	2A-2B-2C-4F-4G-4I-4J-4K
SECTION 2 ITEM(S):	4A-4C-4D-4E-4H-4L-4M-4O-5B-5D-5E-5F
INFORMATION ITEM(S):	2D-4B-4N-5A

PLEASE READ AND REVIEW REPORT AND CONTRACT.
SOME OWNER ITEMS MAY NOT BE REFLECTED ON CONTRACT.



PROFICIENT TERMITE AND CONSTRUCTION CO

613 Quinan St
Pinole, CA 94564
Phone: (510) 222-9199
Fax: 844-361-9014
PTC.PINOLE@YAHOO.COM

INSPECTION INVOICE

INVOICE # 14694

DATE 03/04/20	REPORT NUMBER 030320-1	ESCROW NUMBER
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**TO: CALIFORNIA AUTO GLASS
LUIS D FARAT
1880 EVANS AVE
SAN FRANCISCO, CA 94124**

SERVICE ADDRESS: 309 S 13TH ST - RICHMOND, CA 94804

SERVICE DATE	DESCRIPTION	PRICE
03/03/20	ORIGINAL	\$ 390.00
<p>PAID BY CREDIT CARD</p> <p>CREDIT CARD: <u>7313</u></p> <p>DATE CHARGED: <u>3-3-2020</u></p> <p>CHARGE AMOUNT: <u>\$ 390.00</u></p> <p>THANK YOU FOR CHOOSING PTC!</p> <p>PAID BY CREDIT CARD</p>		
TOTAL AMOUNT DUE:		\$ 390.00

NOTES

ALL INSPECTION FEES ARE DUE AT THE TIME OF THE INSPECTION. AN ADDITIONAL CHARGE OF \$175.00 WILL BE ADDED TO ALL INSPECTIONS THAT HAVE NOT BEEN PAID WITHIN 24 HOURS. SAME APPLIES TO REINSPECTION FEES; SEE NOTE SEVEN(7) ON PAGE TWO OF THIS REPORT.**

THANK YOU

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 309	Street S 13TH ST	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Page 1 of 6
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PROFICIENT TERMITE AND CONSTRUCTION CO
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 Pinole, CA 94564
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 Registration # PR3691



Report # 030320-1

Ordered by: SEQUOIA REAL ESTATE JUAN IBANEZ 2221 PEAR ST PINOLE, CA 94564 W: 415-309-7135	Property Owner and/or Party of Interest: JUAN IBANEZ SEQUOIA REAL ESTATE 2221 PEAR ST, PINOLE, CA 94564	Report sent to: SEQUOIA REAL ESTATE JUAN IBANEZ 2221 PEAR ST, PINOLE, CA 94564 Phone: 415-309-7135
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COMPLETE REPORT
 LIMITED REPORT
 SUPPLEMENTAL REPORT
 REINSPECTION REPORT

General Description: TWO STORY WOOD FRAMED DWELLING	Inspection Tag Posted: WATER HEATER ROOM
	Other Tags Posted: NONE NOTED

An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected. Diagram is not to scale. Locations are only approximate.

Subterranean Termites
 Drywood Termites
 Fungus / Dryrot
 Other Findings
 Further Inspection

If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.

KEY: 1 - Subterranean Termites 2 - Drywood Termites 3 - Fungus/Dryrot 4 - Other Findings 5 - Unknown Further Inspection

1	2	3
4	5	6
7	8	9

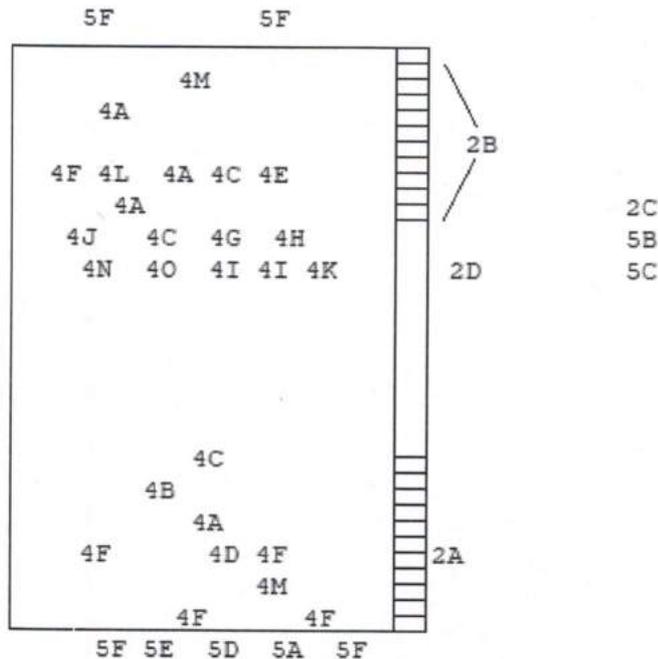


DIAGRAM NOT TO SCALE

Inspected by: IVEY, MANUEL State License No. OPR13233 Signature *Manuel Ivey*

You are entitled to obtain copies of all reports and completion notices on this property reported to the Structural Pest Control Board during the preceding two years. To obtain copies contact: Structural Pest Control Board, 2005 Evergreen Street, Suite 1500, Sacramento, California, 95815-3831.

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916) 561-8708, (800) 737-8188 or www.pestboard.ca.gov.

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 309	Street S 13TH ST	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Report # 030320-1	Page 2 of 6
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NOTE: Diagram(s) on the front page of this report is/are not to scale and findings are at approximate location of the structure and may extend further than outlined and/or may extend in more than one area. Always go over the report whenever possible, with the person making this inspection if unsure as to the amount or extent of damage. We are not responsible for misunderstanding of the reading of this inspection report. Sometimes there may be only one(1) circle on the diagram, but there may be in fact 3 or more areas that are damaged. Persons completing these repairs should be aware of this and should also make their own visual/physical inspection of the property prior to starting any work.

NOTE: Items described throughout this report are conditions found on the date of this inspection only. Proficient Termite Control and its employees are not liable for any damage resulting from failure to correct these conditions or for conditions present but not evident at the time of our inspection because of non-disclosure by owner/tenant or parties in interest.

NOTE: This inspection and report to which it pertains, is issued without guarantee or warranty, expressed or implied. The completion of the recommendations contained in this report, to be completed by this firm, will be accomplished when authorized by owner/agent.

NOTE: Our estimate includes all repairs indicated, even if they extend further than outlined, unless we recommend further inspection. If other parties, e.g., contractors, handymen, etc., underestimate these repairs, it is their responsibility to be responsible for any additional costs.

NOTE: Reports on this structure prepared by various registered companies, should list the same findings (i.e. fungus damage, termite damage, termite infestation, etc.). However, the recommendations to correct these findings may vary from company to company. Therefore, you may wish to seek a second opinion since there may be an alternative method of correcting the findings listed on this report that may be less costly.

NOTE: This company will re-inspect. However, we will not guarantee or assume any responsibility for any repairs performed by others. Unless we are completing all of the repairs, this company will not assume any responsibility for any repairs or damage more extensive than outlined in our Original Report. Should damage extend further than outlined in our report, persons completing work assume responsibility for performing these repairs.

NOTE: This company will re-inspect repairs performed by others within four(4) months of the Original Inspection. A charge, if any, can be no greater than the Original Inspection fee for each re-inspection. The re-inspection is a visual inspection and if an inspection of concealed areas is desired, inspection of work in progress will be necessary. Any guarantee must be received from person(s) responsible for performing these repairs.

NOTE: This is a separated report which is defined as Section1/Section2 conditions evident on the date of this inspection. Section 1 contains items where there is visible evidence of active infestation, infection, or conditions that have resulted in or from infestation or infection. Section 2 items are conditions deemed likely to lead to infestation or infection but where no visible evidence of such was found. Further inspection items are defined as recommendations to inspect areas(s) which during the original inspection did not allow the inspector access to complete the inspection and cannot be defined as Section 1 or Section 2.

ITEM 1: This inspection and report are of visible and accessible portions of the structure(s) shown on the diagram only. Personal items such as: furniture, appliances, stored articles, etc. are not moved during a routine inspection. Interior of hollow walls, areas under or behind cabinets and built-ins, area under floor coverings and carpet are not inspected on a routine inspection. These areas could be inspected upon request and at an additional charge, after they have been made accessible by others.

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No.	Street	City	Zip	Date of Inspection	Report #	Page
309	S 13TH ST	RICHMOND	94804	03/03/20	030320-1	3 of 6

ITEM 2: Should any infection, infestation, damage or adverse conditions be discovered in a concealed area, this company will file a supplemental report with findings and additional cost for repairs. This company is not responsible for controlling such infection or infestation, or for repairing same.

ITEM 3: Owner/tenant acknowledges and agrees that the inspection of the premises does not include any type of inspection for the presence or non-presence of asbestos and that this report does not include any findings or opinions regarding the presence or absence of asbestos in, upon, or about the structure. We recommend that you contact a licensed contractor who engages in asbestos removal or repair. Further, should we discover the presence of asbestos during our inspection or repairs to the premises, or should our inspection or repairs to the dwelling cause a release of asbestos dust or particles, owner/tenant shall be solely responsible for the cleanup, removal and disposal of the asbestos and cost of thereof. Owner/tenant and/or parties in interest hereby agree to waive any and all claims against this company which are in any way related to the presence or non-presence of asbestos in, upon or about the premises, and further agrees to indemnify and hold this company harmless from any and all claims of any nature asserted by a third party, including this company harmless from any and all claims of any nature asserted by a third part, including this companies' employees, which is in any way related to the presence or absence of asbestos in, upon or about the structure or structures.

ITEM 4: This inspection does not include any infestation for any type of household pests, insects or rodents, such as fleas, bees, ants, mice, roaches or any type of general pests covered by the Structural Pest Control Board Branch 2 licensee. Should parties in interest be concerned, we recommend that they contact a General Pest Control Company licensed in that field.

ITEM 5: Should the building department require any additional repairs or changes, there will be an additional charge if work is completed by this company.

ITEM 6: This inspection and report are designed to identify damage as the result of wood destroying pest and organisms and conditions which lead to same. Any information concerning this structure and bringing it into any state or local building code compliance, should be directed to local building departments.

ITEM 7: This company makes no guarantee or warranty, expressed or implied regarding infection, infestation or adverse conditions present, but not evident at the time of inspection.

ITEM 8: The exterior surface of the roof was not inspected. If you want the water tightness of the roof determined, you should contact a licensed roofing contractor who is licensed by the Contractors State License Board.

ITEM 9: There may be health related implications associated with the finding reflected on this report. We are not qualified to render any opinion concerning any such health implications, and no such opinion is expressed. The inspection reflected by this report was limited to visible and accessible surfaces only; we are not qualified to render any opinion as to indoor air quality, and no such opinion is expressed. Any questions concerning any health related implications which may be associated with the findings or recommendations (including recommendations for structural repairs) that are reflected in this report, or concerning indoor air quality, should be directed to a qualified professional.

DECKS AND PATIOS:

2A. Deck boards and framing are damaged by fungus.

RECOMMENDATION: Repair as necessary to eliminate this structural deficiency. SECTION 1 ITEM.

2B. Jacks and deck boards are damaged by fungus.

RECOMMENDATION: Repair as necessary to eliminate this structural deficiency. SECTION 1 ITEM.

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 309	Street S 13TH ST	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Report # 030320-1	Page 4 of 6
---------------------	---------------------	------------------	--------------	--------------------------------	----------------------	----------------

2C. After repairs are made and prior to closing, at ITEM(S): 2A, 2B, the following recommendation is rendered.

RECOMMENDATION: Chemically treat adjacent wood members with a fungicide after repairs are made. Chemical that will be used will be TIM-BOR. (See Chemical Sheet for active ingredients). NOTE: SHOULD THESE AREAS BE COVERED OVER PRIOR TO CHEMICAL APPLICATION, THEY WILL HAVE TO BE REOPENED FOR CHEMICAL APPLICATION. NO EXCEPTIONS. SECTION 1 ITEM.

2D. Hand rails do not meet local building codes. This is mentioned for information only. INFORMATION

INTERIOR:

4A. Ceramic tile on tub-shower walls, in UNITS: 309, 313, 315 appear to be in serviceable condition as no evidence of leakage was observed at this time.

RECOMMENDATION: Owner to keep area well sealed as part of property maintenance. SECTION 2 ITEM.

4B. Commode(s) was/were flushed, in UNIT: 309, and did not leak. This is a statement of findings and is not a guarantee against future problems. INFORMATION ITEM.

4C. Commodes are loose in bathrooms of UNITS: 311, 313, 315.

RECOMMENDATION: Repair Herco rings and reset commodes on a new wax seals. SECTION 2 ITEM.

4D. Water heater, in UNIT: 309, does not have earthquake straps.

RECOMMENDATION: Install earthquake straps as needed. NOTE: NO GUARANTEE IS EXTENDED TO ANY LEAKAGE WHICH MAY OCCUR AFTER STRAPS ARE INSTALLED. SECTION 2 ITEM

4E. Sealed wall framing on concrete slabs, in UNITS: 309, 311 are inaccessible to inspection. To inspect, it would be necessary to remove sheetrock from interior walls. We do not feel that this would be justified at this time as there is no visible evidence of infection or infestation present. However, no guarantees are given to inaccessible areas.

RECOMMENDATION: Owner to have periodic inspections made as part of property maintenance. SECTION 2 ITEM

4F. Fungus damage present to window stools in UNITS: 309, 311, 313.

RECOMMENDATION: Repair or replace fungus damaged wood members as necessary and prime paint new wood. NOTE: SHOULD DAMAGE EXTEND INTO CONCEALED AREAS A SUPPLEMENTAL REPORT WILL BE ISSUED. SECTION 1 ITEM.

4G. Vanity, unit: 315, is damaged by fungus.

RECOMMENATION: Remove vanity, vanity top and plumbing. Install new vanity, vanity top, plumbing and valves. SECTION 1 ITEM

4H. Evidence of plumbing leaks noted under kitchen sink and bathroom sink, UNIT: 315.

RECOMMENDATION: Engage a licensed plumbing contractor to repair plumbing leaks. SECTION 2 ITEM.

4I. Formica counter top framing is fungus damaged, UNITS: 311, 315.

RECOMMENDATION: Remove fixtures and counter tops. Install a new Formica counter tops using new fixtures. SECTION 1 ITEM.

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No. 309	Street S 13TH ST	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Report # 030320-1	Page 5 of 6
---------------------	---------------------	------------------	--------------	--------------------------------	----------------------	----------------

4J. Bathroom floors, in UNIT: 315, is fungus damaged.

RECOMMENDATION: Remove commode(s) and repair damage as necessary. Install new underlayment with new, neutral color, standard grade linoleum and reset commode(s) on a new wax seal(s). NOTE: IF PRIOR COLOR SELECTION IS NOT MADE, A NEUTRAL COLOR WILL BE INSTALLED. SECTION 1 ITEM

4K. Kitchen floor, UNIT: 315, is damaged by fungus.

RECOMMENDATION: Remove underlayment and repair subfloor as necessary. Install new underlayment with a new, neutral color, standard grade linoleum. NOTE: IF PRIOR COLOR SELECTION IS NOT MADE, A NEUTRAL COLOR WILL BE INSTALLED. SECTION 1 ITEM

4L. Grout, in ceramic tile on shower walls UNIT: 311, is cracked and missing. Ceramic tile appears to be secure and properly glued at this time.

RECOMMENDATION: Regrout ceramic tile on a one time basis only. SECTION 2 ITEM.

4M. Due to building code regulations: Installing of smoke detectors and carbon monoxide detectors, UNITS: 309, 311, 313, 315, price cannot be given. Should parties in interest desire smoke detectors and carbon monoxide detectors to be installed by Proficient Termite and Construction Co price will be given at a later date. SECTION 2 ITEM

4N. Old evidence of Subterranean Termites was noted in subarea, UNIT: 315. Since no active infestation was noted at this time, no chemical application is recommended. INFORMATION ITEM.

4O. Water stains were noted to water heater room UNIT: 311. No signs of infection or infestation were noted at this time. RECOMMENDATION: Owner to have periodic inspections made as part of property maintenance. SECTION 2 ITEM.

EXTERIOR:

5A. Sealed roof overhang makes rafter ends and roof sheathing inaccessible to inspection. No evidence of any damage present at this time. However, no guarantees are extended to inaccessible areas. INFORMATION ITEM

5B. Roof covering was not inspected.

RECOMMENDATION: Owner and/or parties in interest to contact a licensed roofing contractor for advice and warranties regarding the roof covering, gutters and down spouts as PROFICIENT TERMITE AND CONSTRUCTION CO extends no guarantee to the roof covering, gutters and down spouts. SECTION 2 ITEM.

5C. Upper-level roof eaves and/or siding or trim are visually inspected from ground level only. No outward evidence of infection or infestation noted to accessible adjacent wood here other than as mentioned in our report.

RECOMMENDATION: However, if desired we would further inspect these areas upon request and at an additional charge by utilizing an extension ladder. FURTHER INSPECTION ITEM

5D. Settlement cracks were noted in exterior stucco. No evidence of leakage into internal framing members was noted at this time.

RECOMMENDATION: Owner to keep stucco well sealed and painted as part of property maintenance. SECTION 2 ITEM.

5E. Exterior paint displays neglect.

RECOMMENDATION: Owner to scrape, putty and paint as part of property maintenance. SECTION 2 ITEM.

5F. Holes in soffit.

WOOD DESTROYING PESTS AND ORGANISMS INSPECTION REPORT

Building No.	Street	City	Zip	Date of Inspection	Report #	Page
309	S 13TH ST	RICHMOND	94804	03/03/20	030320-1	6 of 6

RECOMMENDATION: Fill-in holes with paper wire and stucco to seal off dwelling. SECTION 2 ITEM

SHOULD PARTIES IN INTEREST HIRE OUTSIDE CONTRACTORS TO MAKE REPAIRS, WE ENCOURAGE PARTIES IN INTEREST TO CHECK FOR LICENSE, BONDS, INSURANCE (WORKMAN'S COMPENSATION INSURANCE) TO PROTECT HOMEOWNERS PROPERTY AND INTEREST.

SHOULD OTHERS UNDERTAKE THESE REPAIRS, WE RECOMMEND PARTIES IN INTEREST TO MAKE PERSONS RESPONSIBLE FOR REPAIRS, PAY ALL INTERIM INSPECTION FEES AND REINSPECTION FEES.

GUARANTEE:

Repairs performed by PROFICIENT TERMITE AND CONSTRUCTION CO are guaranteed for a period of one (1) year from the date of issuance of NOTICE OF COMPLETION. 30 day guarantee on all caulking and grouting. 30 day guarantee on plumbing repairs. NO GUARANTEE is extended to settlement, owners neglect, acts of nature, swimming pools, hot tubs, seepage, drainage problems, fumigation, roofing, inaccessible areas, general pest or any other structure on the property not mentioned in the body of this report. NO GUARANTEE is extended to items not completed by PROFICIENT TERMITE AND CONSTRUCTION CO. THERE IS NO GUARANTEE TO INSPECTION OR REPAIRS IF PAYMENT IS NOT RECEIVED WITHIN 90 DAYS OF ISSUANCE OF NOTICE OF COMPLETION.

Under the California Mechanics Lien Law, (California Civil Code, Sec. 311 et. seq.) any contractor, subcontractor, labor, suppliers, or any other person who helps to improve your property but is not paid for his work or supplies has the right to enforce a claim against your property. This means after a court hearing your property could be sold by a court officer and the proceeds of sale used to satisfy the indebtedness. This can happen even if you paid the contractor in full, if the subcontractor, labor or suppliers remain unpaid.

Full payment of contracted price is due upon issuance of Notice of Work Completed. Exception: (1) OPEN ESCROW, (2) Prior arrangements are made between PROFICIENT TERMITE AND CONSTRUCTION CO and the person signing this contract.

PROFICIENT TERMITE AND CONSTRUCTION CO will file a Mechanics Lien on the property if payment is not received within 55 days after Notice of Work Completed is issued.

REINSPECTION FEE IS THE SAME AS THE ORIGINAL INSPECTION FEE.

WORK AUTHORIZATION CONTRACT

Building No. 309 S 13TH ST	Street	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Page No. 1
	Proficient Termite and Construction Co 613 Quinan St. Pinole, CA 94564 Phone: (510) 222-9199 Fax: (510) 222-9197 PTC.PINOLE@YAHOO.COM Registration # PR3691				For Report # 030320-1

ITEMIZED COST BREAKDOWN (Refer to items on the report)

<u>SECTION 1</u>	<u>SECTION 2</u>	<u>FURTHER INSPECTION</u>
2A: \$875.00	4C: \$525.00	5C: -> TBD
2B: \$3850.00	4D: \$175.00	
2C: \$250.00	4H: -> OTHER TRADES	
4F: \$1475.00	4L: \$100.00	
4G: \$625.00	4M: -> TBD	
4I: \$6400.00	5B: -> OTHER TRADES	
4J: \$1200.00	5F: \$680.00	
4K: \$1800.00 -> PERMITS TBD		
*** TOTAL: \$16475.00	*** TOTAL: \$1480.00	

Under the California Mechanics Lien Law, (California Civil Code, Sec.311 et. seq.) any contractor, subcontractor, labor, suppliers, or any other person who helps to improve your property but is not paid for his work or supplies has the right to enforce a claim against your property. This means after a court hearing your property could be sold by a court officer and the proceeds of sale used to satisfy the indebtedness. This can happen even if you paid the contractor in full, if the subcontractor, labor or suppliers remain unpaid.

Full payment of contracted price is due upon issuance of Notice of Work Completed. Exception: (1) OPEN ESCROW, (2) Prior arrangements are made between PROFICIENT TERMITE AND CONSTRUCTION CO and the person signing this contract.

PROFICIENT TERMITE AND CONSTRUCTION CO will file a Mechanics Lien on the property if payment is not received within 55 days after Notice of Work Completed is issued.

Interest charge of two (2) percent per month, annual interest rate of twenty-four (24) percent will be charged from the date of NOTICE of COMPLETION if payment is not received within 30 days of Notice of Completion. This may be waived if payment is made from the original escrow funds which were being held by the original title company and the funds are released upon Transfer of Deed to property.

In the event additional repairs are called for by the Building Department, owner, buyer, FHA appraiser, agent, home inspector, engineer, or any parties in interest, PROFICIENT TERMITE AND CONSTRUCTION CO reserves the right to issue a supplemental report with a new contract to cover any additional repairs called for by the aforementioned. PROFICIENT TERMITE AND CONSTRUCTION CO assumes NO responsibility for landscaping or roofing. Owner will be advised of possible damage to landscaping prior to start of repairs.

READ & APPROVED BY:



Signature



Date



Printed Name

WORK AUTHORIZATION CONTRACT

Building No. Street 309 S 13TH ST	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Page No. 2
	Proficient Termite and Construction Co 613 Quinan St. Pinole, CA 94564 Phone: (510) 222-9199 Fax: (510) 222-9197 PTC.PINOLE@YAHOO.COM Registration # PR3691			For Report # 030320-1

MOLD DISCLAIMER: There may be health implications associated with the structural repairs reflected in this WORK AUTHORIZATION Contract. These health implications include, but are not necessarily limited to, the possible release of mold spores during the course of structural repairs which under certain circumstances may require that the repair work be performed with precautions such as, containment barriers and negative air pressure (which this company is not qualified to perform & does not perform). We are neither qualified to render any opinion concerning any such health implications or concerning the necessity of any such precautions, and not such opinion is expressed. Any questions concerning any health/related implications, which may be associated with the structural repairs reflected in this WORK AUTHORIZATION CONTRACT, or concerning any necessary precautions to be taken prior to or during the course of such repairs, should be directed to a qualified professional before any such repairs are undertaken. By executing this Work Authorization Contract, customer acknowledges that he/she has been advised of the foregoing, has had an opportunity to consult a qualified professional concerning the matters herein and has either consulted with such a qualified professional, or has elected not to do so. BY EXECUTING THIS WORK AUTHORIZATION CONTRACT AND BY REQUESTING PROFICIENT TERMITE AND CONSTRUCTION CO TO PROCEED WITH THE STRUCTURAL REPAIRS REFLECTED HEREIN, CUSTOMER RELEASES PROFICIENT TERMITE AND CONSTRUCTION CO FROM ANY AND ALL LIABILITY FOR ANY DAMAGE OR INJURY OF ANY KIND WHATSOEVER (INCLUDING BUT NOT LIMITED TO BODILY INJURY OR PROPERTY DAMAGE, AND INCLUDING BUT NOT LIMITED TO ANY CONSEQUENTIAL DAMAGE) WHICH IS CLAIMED TO ARISE FROM THE DISPERSAL OF MOLD OR MOLD SPORES RESULTING FROM THE PERFORMANCE OF THE STRUCTURAL REPAIRS REFERRED TO HEREIN BY PROFICIENT TERMITE AND CONSTRUCTION CO.

GUARANTEE:

Repairs performed by PROFICIENT TERMITE AND CONSTRUCTION CO are guaranteed for period of one (1) year from date of issuance of NOTICE OF COMPLETION. 30 day guarantee on caulking and grouting. 30 day guarantee on plumbing repairs. NO GUARANTEE is extended to settlement, owners neglect, acts of nature, swimming pools, seepage, drainage problems, fumigation, roofing, inaccessible areas, general pest or any other structures on the property not mentioned in the body of this report. NO GUARANTEE is extended to items not completed by PROFICIENT TERMITE AND CONSTRUCTION CO. THERE IS NO GUARANTEE TO INSPECTION OR REPAIRS IF PAYMENT IS NOT RECEIVED WITHIN 90 DAYS OF NOTICE OF COMPLETION.

PROFICIENT TERMITE AND CONSTRUCTION CO reserves the right to revise cost if not accepted within 30 days. This contract is based upon Proficient Termite and Construction Co performing all of the items listed on this contract. Should individual items be ordered, price is subject to change.

I HAVE READ THIS CONTRACT AND THE REPORT IT REFERS TO AND DO HEREBY AGREE TO THE ABOVE TERMS OF THIS CONTRACT.

MINIMUM CHARGE: \$300.00
LICENSE #PR3691/1029933

READ & APPROVED BY:

X _____ X _____
Signature Date Proficient Termite and Construction Co

X _____
Printed Name

SECTION 1 ONLY _____ SECTION 2 ONLY _____ FURTHER INSPECTION ONLY _____

WORK AUTHORIZATION CONTRACT

Building No. Street 309 S 13TH ST	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Page No. 3
	Proficient Termite and Construction Co 613 Quinan St. Pinole, CA 94564 Phone: (510) 222-9199 Fax: (510) 222-9197 PTC.PINOLE@YAHOO.COM Registration # PR3691			For Report # 030320-1

OCCUPANT'S CHEMICAL NOTICE

Proficient Termite and Construction Co will use pesticide chemical(s) specified below for the control of wood destroying pests or organisms in locations identified in the Structural Pest Control report as indicated above.

(1) The pest/s to be controlled (marked with X):

SUBTERRANEAN TERMITES BEETLES FUNGUS OR DRY ROT
 DRYWOOD TERMITES DAMPWOOD TERMITES OTHERS

(2) The pesticide/s proposed to be used and the active ingredient/s (marked with X):

BISECT L (Active Ingredient: Bifenthrin.....7.9%)
 PREMISE FOAM (Active Ingredient: Imidacloprid.....0.05%)
 TIM-BOR INSECTICIDE (Active Ingredient: Disodium Octaborate Tetrahydrate...99%)
 VIKANE (Active Ingredient: Sulfuryl Fluoride.....99%)
 ZYTHOR (Active ingredient: Sulfuryl Fluoride.....99%)
 MASTERLINE IMAXX PRO (Active Ingredient: Imidacloprid.....75%)
 OTHER:

(3) "State Law requires that you be given the following information:

CAUTION-PESTICIDES ARE TOXIC CHEMICALS. Structural Pest Control Operators are licensed and regulated by the Structural Pest Control Board, and apply pesticides which are registered and approved for use by the California Department of Food and Agriculture and the United States Environmental Protection Agency. Registration is granted when the State finds that based on existing scientific evidence there are no appreciable risks if proper use conditions are followed or that the risks are outweighed by the benefits. The degree of risk depends upon the degree of exposure, so exposure should be minimized.

"If within 24 hours following application you experience symptoms similar to common seasonal illness comparable to the flu, contact your physician or poison control center and your pest operator immediately. (This statement shall be modified to include any other symptoms of overexposure which are not typical of influenza.)"

OWNER/OCCUPANT Signature

Date

Printed Name

WORK AUTHORIZATION CONTRACT

Building No. Street 309 S 13TH ST	City RICHMOND	Zip 94804	Date of Inspection 03/03/20	Page No. 4
		Proficient Termite and Construction Co 613 Quinan St. Pinole, CA 94564 Phone: (510) 222-9199 Fax: (510) 222-9197 PTC.PINOLE@YAHOO.COM Registration # PR3691		
				For Report # 030320-1

OCCUPANTS CHEMICAL NOTICE

For further information, contact any of the following:

- Proficient Termite and Construction Co..... (510)222-9199
- Alameda County Health Department..... (510)267-8000
- Contra Costa County Health Department..... (925)608-6600
- Marin County Health Department.....(415)499-3696
- Napa County Health Department..... (707)253-6052
- Santa Clara County Health Department..... (408)918-3400
- Solano County Health Department..... (707)784-8600
- Sutter County Public Health..... (530)822-7215

- Alameda County Agriculture Commissioner..... (510)670-5232
- Contra Costa County Agriculture Commissioner..... (925)608-6600
- Marin County Agriculture Commissioner..... (415)473-6700
- Napa County Agriculture Commissioner..... (707)253-4357
- Santa Clara County Agriculture Commissioner.....(408)918-4603
- Solano County Agriculture Commissioner..... (707)784-1310
- Sutter County Agriculture Commissioner..... (530)822-7500

Poison Control Center (800)222-1222

Structural Pest Control Board
2005 Evergreen Street, Suite 1500, Sacramento, CA 95815..... (800) 737-8188

Persons with respiratory or allergic conditions, or others, who may be concerned about their health relative to this chemical treatment, should contact their physician concerning occupancy during and after chemical treatment prior to signing this NOTICE.

NO CHEMICAL APPLICATION WILL BE PERFORMED UNTIL SUCH TIME THAT THIS NOTICE IS RETURNED. HAVING READ THE INSTRUCTIONS, I, THE UNDERSIGNED, WILL ACCEPT RESPONSIBILITY FOR ALL THE AFOREMENTIONED.

X

OWNER/OCCUPANT Signature

X

Date

X

Printed Name

Pacific Homes Inspection

Property Inspection Report



309 S. 13th St., Richmond, CA 94804
Inspection prepared for: Kevin Sarat
Real Estate Agent: Juan Ibanez - Sequoia Real Estate

Date of Inspection: 3/3/2020 Time: 10:00
Age of Home: 1959 Size: 2760
Weather: Dry

Inspector: Bob Evans
61 Gala Ln., Brentwood, CA 94513
Phone: 510 856 7715 Fax: 925 387 8102

Email: bob.evans@pacifichomesinspection.com
www.pacifichomesinspection.com

Pacific Homes Inspection

3/3/2020

To: Kevin Sarat

Thank you for choosing Pacific Homes Inspection to perform your home inspection at 309 S. 13th St.. The goal of this inspection and report is to put you in a better position to make an informed real estate decision. This report is a general guide and provides you with some objective information to help you make your own evaluation of the overall condition of the home and is not intended to reflect the value of the property, or to make any representation as to the advisability of purchase. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. This inspection is not a guarantee or warranty of any kind.

Pacific Homes Inspection endeavors to perform all inspections in substantial compliance with the Standards of Practice of the "International Association of Certified Home Inspectors". As such, we inspect the readily accessible, visually observable installed systems and components of a home as designated in the InterNACHI Standards—except as may be noted in the sections within this report. This Property Inspection Report contains observations of those systems and components that, in the professional judgment of the inspector, are not functioning properly, significantly deficient, unsafe, or are near the end of their service lives. If the cause for the deficiency is not readily apparent, the suspected cause or reason why the system or component is at or near end of expected service life is reported, and recommendations for correction or monitoring are made as appropriate. When systems or components designated in the InterNACHI Standards are present but are not inspected, the reason(s) the item was not inspected is reported as well. A copy of the InterNACHI Standards of Practice is available at: <http://www.nachi.org/documents2012/Home-Inspection-Standards-of-Practice.pdf> or go to my website: <http://www.pacifichomesinspection.com> and click on "Scope Of Inspection".

These standards define the scope of a home inspection. Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the InterNACHI Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report is effectively a snapshot of the house—recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report has been prepared for your exclusive use, as our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein. The report itself is copyrighted, and may not be used in whole or in part without Pacific Homes Inspection's express written permission.

Again, thanks very much for the opportunity of conducting this inspection for you. We are available to you throughout the entire real estate transaction process. Should you have any questions, please call, text or email us.

Sincerely,

Bob Evans
Pacific Homes Inspection
(510) 856-7715
www.pacifichomesinspection.com
bob.evans@pacifichomesinspection.com

Report Summary

On this page you will find, in **RED** and **BLUE** a brief summary of any concerns of the inspection, as they relate to Safety and Function. **RED** comments are considered **CRITICAL** and **BLUE** comments should be repaired or replaced. These findings can be a **CRITICAL** safety hazard, a deficiency requiring a major expense(s) to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. The complete list of items noted is found throughout the body of the report, including normal maintenance items or items that may need to be improved or evaluated which will be in **GREEN**.

BE SURE TO READ YOUR ENTIRE REPORT!

Ultimately, depending upon your needs and those who will be on this property, those **CRITICAL RED** or **BLUE** issues will be determined by the client and where his or her level of concern lies, so again, be sure to read your Inspection Report in its entirety.

NOTE: If there are no comments in **RED** below, in the inspectors opinion, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

GROUNDINGS		
Page 8 Item: 4	Balcony	4.2. Unstable supports. One support post for the balcony needed to be resecured for safety and liability issues. A qualified contractor should perform all work.
Page 9 Item: 5	Balcony Enclosure, Handrails & Stairs	5.2. Probing of stair treads of the rear exterior stairway revealed the presence of some wood decay in certain areas. Wood decay weakens wood significantly. The Inspector recommends having the affected treads replaced by a qualified contractor as a safety measure against fall hazard.
EXTERIOR AREAS		
Page 15 Item: 5	Eaves & Facia	5.1. Soffit holes visible at the time of the inspection should be repaired by a qualified contractor to avoid pest/insect infiltration.
INTERIOR AREAS		
Page 27 Item: 4	Ceiling Condition	4.2. Extensive water damage to general area of ceiling in 315 where the past leaking had occurred. Areas are marked with peeling paint and bulging drywall. Have a contractor evaluate.
Page 30 Item: 9	Smoke and CO Detectors	9.4. The Inspector recommends placing additional Carbon Monoxide detectors to protect sleeping areas as per the CPSC guidelines above.
BATHROOMS		
Page 33 Item: 9	Tub/Shower Walls	9.2. Shower wall tiles were loose at the time of the inspection in 311.
Page 33 Item: 10	Sinks	10.1. Drain line leaks under sink. 315. See pic.
KITCHEN		
Page 35 Item: 3	Cook top condition	3.2. An electric cooktop burner failed to respond when tested. The Inspector recommends service by a qualified technician. 311.
WATER HEATER		

Page 39 Item: 1	Water Heater Condition	1.4. A gas-fired water heater was located in a room used as a storage closet. This location is no longer allowed in new construction. This installation will not supply adequate amounts of combustion air for safe operation. The inspector noted flammable personal belongings stacked up against the water heaters.
Page 40 Item: 6	TPRV	6.1. Temperature – Pressure drain line is missing. One should be installed to terminate within six inches of the floor to minimize personal injury which may be caused by scalding water, in the event of a pressure blow-off. 303. 6.2. The pressure relief valve has been capped or plugged. This is a dangerous condition which should be corrected immediately. 311.
Page 41 Item: 9	Plumbing Condition	9.1. Corrosion observed. Location: Have all pipes reviewed. 309. 9.2. Water heater plumbing needs to be flexible to conform to earthquake standards. 313, 309, 311.

INTRODUCTION

NOT A CODE INSPECTION

The General Home Inspection is not a building code-compliance inspection, but a visual inspection for safety and system defects. The Inspection Report may comment on and identify as problems systems, components and/or conditions that may violate building codes, but although safety defects and building code violations may coincide at the time of the inspection, confirmation of compliance with any building code or identification of any building code violation is not the goal of this Inspection Report and lies beyond the scope of the General Home Inspection. If you wish to ascertain the degree to which the home complies with any applicable building codes, you should schedule a building code-compliance inspection.

INSPECTION DEADLINES

In order to reasonably and effectively negotiate with the seller for the cost of any necessary repairs or corrections, you should consult with any contractors, engineers or other specialists necessary in time to receive their reports or results before the expiration of your Inspection Objection Deadline or the close of escrow.

MOLD DISCLAIMER

The General Home inspection is not an inspection for mold and the inspector specifically disclaims and assumes no responsibility for identifying the presence of mold fungi. Mold fungi are present in all homes and may be present at levels at which sensitive people may react physically to their presence, even at levels at which fungal colonies are not visible, or when fungal colonies are hidden in inaccessible portions of the home. If you are concerned with mold, the Inspector recommends that you hire a specialist to perform further testing.

ALLERGEN DISCLAIMER

The General Home inspection does not include confirmation of the presence of allergens of any type. Many types of allergens exist to which different people show widely varying levels of sensitivity. Testing for allergens requires a specialist inspection. The Inspector recommends that you have specialist testing performed if allergens are a concern to you. You should consider having tests performed if you expect those suffering from allergies, asthma, lung disease or who have compromised immune systems to be present in the home.

RATING SYSTEM USED

ALWAYS DEFER TO COMMENTS, IF ANY, FOR ITEM CONDITION.

CHECKED BOXES BELOW:

GOOD: The item(s) appear(s) functional or in satisfactory condition. SEE NOTES.

FAIR: The item(s) need(s) to be monitored or evaluated by a qualified contractor. SEE NOTES.

POOR: Recommend repair or replacement. SEE NOTES.

CRITICAL: Critical structural or major safety issue. SEE NOTES.

N/A: Not applicable, not inspected or no item observed. SEE NOTES.

COMMENTS BELOW:

OBSERVATIONS IN GREEN: May need improvement or further evaluation.

OBSERVATIONS IN BLUE: Recommend repair or replacement. Have contractor evaluate.

OBSERVATIONS IN RED: Critical structural or major safety issue.

INSPECTION DETAILS

What We Inspect

A Home Inspection is a non-invasive visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions.

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.

1. Attendance

In Attendance:

- Buyer Agent present
- Client present

2. Home Type

Home Type:

- Multi family home
- Commercial Building

3. Occupancy

Occupancy:

- Occupied - Furnished: Heavy volume of personal and household items observed.
- Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.
- The utilities were ON at the time of inspection.

GROUNDS

General Home Maintenance

In order to maintain the home value and prevent damage from moisture intrusion it is important that you pay attention to various areas of your home which will require maintenance on a regular schedule.

Although as the homeowner, you are responsible for determining necessary maintenance and seeing that it is performed, some basic suggestions might include but are not limited to:

Concrete/asphalt surfaces:

- Seal or patch gaps and cracks to avoid damage from freezing moisture. Freezing moisture will enlarge cracks in concrete and asphalt.

Exterior walls

- Trim back vegetation
- Seal gaps or cracks in walls and around doors and windows where moisture may penetrate with an appropriate sealant or paint
- Replace any missing exterior wall covering material.

Roof

- The roof should be free of debris, which will hold moisture next to the roof covering material and hasten deterioration.
- Keep the gutter system in good repair, sealing leaks and cleaning the gutters and downspouts
- Replace missing or damaged shingles and/or repair and seal areas where flashing may not protect the roof structure
- Be sure that downspouts route roof drainage away from the foundation.

Decks and porches

- Keep the finish in good condition. Clear finishes may require maintenance as often as every year or two.

Plumbing

- Monitor pipe fittings, boilers and water heaters for corrosion or leakage. Maintain major appliances as recommended by local professionals.

Heating

- Have the system, including the cabinet, burners, blower and filter cleaned and adjusted on an appropriate schedule. You can determine what constitutes an appropriate schedule by consulting with a qualified heating contractor.

Moisture damage

- Moisture intrusion can cause damage to the home by effecting the ability of the soil to support the weight of the foundation and by creating conditions favorable to the growth of biological organisms such as mold fungus. Mold fungus will cause wood with which it comes into contact to decay and may create unhealthy conditions by increasing concentrations of mold spores in the indoor air of the home. Always watch for any signs of moisture intrusion and take steps to correct it immediately.

GENERAL PLUMBING NOTES

A wide variety of plumbing system materials have been installed over the years. System designs and their components have varied according to material technology and design theory prevalent at the time the home was built. Components have also varied with climate, architectural requirements and in quality.

Some of these components include gas pipes, water supply, drain and vent pipes, pressure regulators, pressure relief valves, shut-off valves, water-heating devices and fixtures throughout the home. Some of these components and fixtures I test and some I don't. However I do inspect them if they are accessible.

PLUMBING STANDARDS and CODES

Plumbing standards and codes have also evolved over the years and home plumbing systems and their components are only required to comply with codes that were in effect at the time the home was built. The issue with various plumbing systems is not code compliance but the degree to which the installed system adequately provides for the requirements of the home. This is my concern as a Home Inspector.

If in my opinion the installed plumbing system or any of its components is failing to adequately provide for the requirements of the home, I will recommend evaluation and/or correction by a qualified plumbing contractor.

WATER HEATERS

The lifespan of water heaters depends upon the following:

- The quality of the water heater
- The chemical composition of the water
- The long-term water temperature settings
- The quality and frequency of past and future maintenance

I recommend flushing the water heater once a year and replacing the anode every four years.

You should keep the water temperature set at a minimum of 110 degrees Fahrenheit to kill microbes and a maximum of 130 degrees to prevent scalding.

DRAIN PIPES

The General Home Inspection is a visual inspection of the home systems and their visible, accessible components. I evaluate drain pipes by operating and observing each operable home plumbing fixture to ensure proper drainage at each fixture at the time of the inspection. Blockages can occur between the time the home is inspected and the time you move in, sometimes due to cleaning activities.

Blockages will eventually occur, usually relative in severity to the age of the plumbing system, and will range from minor blockages of branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main sewer line. Minor blockages are usually easily cleared, either by chemical or mechanical means or by removing and cleaning the traps.

Roots from trees growing between the home and the street may pose a threat to the main sewer pipe. Tree roots can damage or invade and form blockages in sewer pipes.

The Inspector recommends that you ask the sellers if they have ever experienced any drainage problems. If the home is older, you may wish to have the main waste line video-scanned to discover any damage that may have occurred before the expiration of your Inspection Objection Deadline, as replacement can be expensive.

1. Driveway and Walkway Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Concrete sidewalk noted.

Observations:

1.1. Sidewalk in good shape for age and wear. No deficiencies noted.

1.2. **IMPROVE:** Typical cracking was observed at the concrete surfaces. Recommend sealing the cracks to prolong the life of the concrete.

2. Grading/Landscaping

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 2.1. No major system safety or function concerns noted at time of inspection.
- 2.2. The exterior drainage is generally away from foundation.
- 2.3. While performance of lot drainage and water handling systems may appear serviceable at the time of inspection, the inspector cannot always accurately predict this performance as conditions constantly change. Furthermore, items such as leakage in downspout/gutter systems are very difficult to detect during dry weather and even during wet weather. Inspection of foundation performance and water handling systems, therefore, is limited to visible conditions and evidence of past problems.

3. Vegetation Observations

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 3.1. No major system safety or functional concerns noted at time of inspection.

4. Balcony

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 4.1. **MAINTENANCE:** Whether treated or not, it is important to keep a wood deck surface free of all forms of fungal growth and debris that retains moisture and will cause the deck to eventually rot. Recommend cleaning and resealing the deck annually. Cleaning can be accomplished by scrubbing the deck with a sodium-hypochlorite (bleach) and Tri-Sodium-Phosphate (TSP) deck wash and then rinsing with a pressure washer. Finally, a wood deck should be recoated with a good-quality deck sealant.
- 4.2. **Unstable supports.** One support post for the balcony needed to be resecured for safety and liability issues. A qualified contractor should perform all work.



5. Balcony Enclosure, Handrails & Stairs

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

5.1. Guardrail assemblies protecting the balcony were in satisfactory condition.

5.2. Probing of stair treads of the rear exterior stairway revealed the presence of some wood decay in certain areas. Wood decay weakens wood significantly. The Inspector recommends having the affected treads replaced by a qualified contractor as a safety measure against fall hazard.



Deterioration noted

6. Grounds Electrical

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

6.1. No major system safety or function concerns noted at time of inspection.

7. Gas Meter and Pipe Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Location:

- Left side of structure

Observations:

7.1. Meter located at exterior. All gas appliances have cut-off valves in line at each unit. No gas odors detected.

7.2. The visible portions of the gas supply pipes appeared to be in serviceable condition at the time of the inspection.

7.3. There are some jurisdictions that require a seismic shut-off valve when a home changes ownership. Check with your city to see if this is a requirement. The inspector suggests installing a seismic shut-off or excess flow valve at the main gas meter for added safety.

7.4. Suggest adding gas shutoff wrench to gas meter in case of emergency.



Main gas shut off. To turn of main gas shut off, turn valve so that flat area of the valve is perpendicular to the pipe. Make sure special wrench is always available in emergency.

8. Water/Plumbing Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials:

- The home water was supplied from a public source.

Observations:

8.1. Most water distribution pipes were not visible at the time of the inspection due to wall, floor and/or ceiling coverings.

9. Exterior Faucet Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

9.1. Missing handle noted at time of inspection, repairs recommended.

10. DWV Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Materials:

- The drain, waste and vent pipes were not visible.

Observations:

10.1. The property is served by exterior drains, the inspection of which lies beyond the scope of the General Home Inspection. Drain blockages can have various causes. Tree roots or root tendrils of other vegetation may cause damage/blockage. Damage/blockage may result from the earth above the pipes being compacted by vehicles. Runoff water carries minerals, silt and debris which can be deposited inside the pipes and harden during the summer months to create blockages. You may wish to have exterior drains tested or examined by video camera in time to receive the results before the expiration of your Inspection Objection Deadline.

11. Fence Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Wood

Observations:

11.1. Fencing appeared to be in serviceable condition at the time of the inspection. Inspection of fencing typically includes examination for condition and proper installation of the following:
 Posts (condition and proper installation)
 Barrier (condition and proper installation)
 Gates (condition and proper operation)

12. Sprinklers

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

12.1. The home was equipped with a landscape irrigation system. Inspection of irrigation systems lies beyond the scope of the General Home Inspection. You may wish to have this system inspected by a qualified irrigation or landscape contractor before the expiration of your Inspection Objection Deadline.

EXTERIOR AREAS

Exterior Notes

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof (see www.gaf.com for roof info). Always ask the seller about the age and history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and the number of layers on the roof. We certainly recommend this for any roof over 5 years of age.

Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. More damage has probably resulted from moisture and expansive soils than from most natural disasters. Also, there should be gutters and downspouts with splash blocks that discharge away from the building. We have discovered evidence of moisture intrusion inside structures when it was raining that would not have been apparent otherwise. In addition, we recommend that downspouts do not terminate over paved areas such as walks or driveways, as they can contribute to icy slip and fall hazards in winter.

Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary.

Vegetation too close to the home can contribute to damage through root damage to the foundation, branches abrading the roof and siding, and leaves providing a pathway for moisture and insects into the home.

ASBESTOS SCREENING IN HOMES BUILT BEFORE 1980

If your home was built before 1978, there is a good chance it has some product using asbestos and it's still present today in millions of homes.

Asbestos can be found in over 2500 products in the US and is still being used in manufacturing many products available today, however its use in home products, once common, has been drastically reduced.

One very common product in which asbestos was commonly used until 1978 was in drywall compound used to seal joints between drywall sheets and to create interior wall textures. Because drywall compound stocks were warehoused, asbestos-containing drywall compound may be present in homes built in the early 1980's.

Although asbestos is a known health hazard, it is dangerous only when in a form in which it can be inhaled. Cutting or sanding drywall compound that contains asbestos will release asbestos particles into the air where they may be inhaled. You should keep this in mind if you plan to renovate your new home.

Regulations governing asbestos removal vary by local jurisdiction. Once you own a home that contains asbestos, your options for changes requiring demolition may be affected by the fact that you may be required to pay for asbestos removal.

Asbestos in some forms, such as vinyl flooring, drywall and "popcorn" ceilings is often left in place and covered, rather than removed. This is an acceptable practice in many instances. Much information about asbestos is available online.

The only way to know for certain whether asbestos is in a particular product or material is to have testing performed.

The inspector did not test for asbestos.

LEAD BASED PAINT IN OLDER HOMES

If your home was built before 1978, there is a good chance it has lead-based paint. In 1978, the federal government banned consumer uses of lead-containing paint, but some states banned it even earlier. Lead from paint, including lead-contaminated dust, is one of the most common causes of lead poisoning.

- Lead paint is still present in millions of homes, sometimes under layers of newer paint. If the paint is in good shape, the lead paint is usually not a problem. Deteriorating lead-based paint (peeling, chipping, chalking, cracking, damaged, or damp) is a hazard.
- It may also be a hazard when found on surfaces that children can chew or that get a lot of wear-and-tear, such as:
 - Windows and window sills;
 - Doors and door frames; and
 - Stairs, railings, banisters, and porches.
- Be sure to keep all paint in excellent shape and clean up dust frequently.
- Lead in household dust results from indoor sources such as deteriorating lead-based paint.
- Lead dust can also be tracked into the home from soil outside that is contaminated by deteriorated exterior lead-based paint and other lead sources, such as industrial pollution and past use of leaded gasoline.
- Renovation, repair or painting activities can create toxic lead dust when painted surfaces are disturbed or demolished.
- Pipes and solder - Lead is used in some water service lines and household plumbing materials. Lead can leach, or enter the water, as water flows through the plumbing. Lead pipes and lead solder were commonly used until 1986.
- The inspector did not test for lead.

1. General Exterior Conditions

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

1.1. The home exterior appeared to be in serviceable condition at the time of the inspection.

2. Doors

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

2.1. At the time of the inspection, door exteriors showed general weathering commensurate with their age. Weathering typically includes fading of paint and deterioration of the threshold, jamb and trim.

2.2. The metal security door appears functional.

2.3. 2nd floor screen door to balcony is damaged.



Damage noted.

3. Window Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

3.1. Components appeared in satisfactory condition at time of inspection.

3.2. Some window screens missing and some damaged.

4. Stucco

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

4.1. Stucco covering exterior walls of the home appeared to be in serviceable condition at the time of the inspection.

4.2. General minor cracking, not uncommon in older stucco covering exterior walls, was visible at the time of the inspection. This condition is typically the result of long-term thermal expansion and contraction.

5. Eaves & Facia

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

5.1. Soffit holes visible at the time of the inspection should be repaired by a qualified contractor to avoid pest/insect infiltration.



Hole in soffit noted.



6. Exterior Paint

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

6.1. Most exterior paint in good condition. Some areas need priming and paint. See pics.

ROOF

GENERAL COMMENTS on ROOFS

I DO NOT CERTIFY ROOFS AS LEAK-PROOF as part of a General Home Inspection. If you would like the roof of this property certified against leakage, you should contact a qualified roofing contractor who provides this service.

Roof Leakage

Although roof-covering materials are designed to protect the underlying home structure from moisture, most are not considered waterproof, but water resistant. They are designed to work together with an underlying membrane in preventing moisture intrusion of the home structure. For protection from moisture intrusion (roof leakage) the home structure and interior are heavily reliant upon the type and quality of roofing materials and the methods used to install them.

Roof Pitch

Minimum Roof Pitch

Steep-slope roofing systems are defined by the National Roofing Contractor's Association as roof-covering materials designed for installation on slopes greater than 3 vertical inches of rise in every 12 horizontal inches of run, commonly called 3 & 12 (14-degree pitch). Steep-slope roof-covering materials are water-shedding, not water-proof.

To prevent water leaks, these materials rely on an underlying membrane, adequate overlap and fast drainage. Some types of roof-covering materials, such as rolled roofing, are commonly installed on roofs of inadequate slope.

The following considerations may affect the lifespan of a roof...

- Roofing material quality
- Installation method
- Number of layers
- Structure orientation: South-facing roofs will have shorter lifespans.
- Degree of roof slope: Flatter roofs will have shorter lifespans.
- Climate (snow & rain): Harsh climates shorten roof lifespans.
- Temperature swings: climates with large daily temperature differentials will shorten roof lifespans.
- Building site conditions (overhanging tree branches, wind, etc.)
- Roof color: Darker roofs absorb more heat which shortens roof lifespan.
- Elevation: Homes at higher elevations are exposed to more ultra violet (UV) light, which shortens roof lifespan.
- Roof structure ventilation: Poor ventilation shortens roof lifespans.
- Quality of maintenance

Here are some other conditions that may affect your roof...

- Physical abrasion: Avoid walking on the roof whenever possible. Always avoid stepping directly on areas where different roof planes meet such as valleys, hips and ridges. Tree limbs should be cut back so that they do not overhang the roof.
- Freeze/thaw cycle-: Areas of the roof where snow collects or ice dams build are subject to more rapid deterioration.
- Debris accumulation will speed deterioration by holding moisture next to the shingles where it may cause freeze damage.

Although Home Inspectors do not perform invasive testing, they use deductive methods based on experience and the aid of a high-quality electronic moisture-detecting instruments to make recommendation decisions.

The Inspector recommends that you either include comprehensive roof coverage in your home insurance policy or obtain a roof certification from an established, qualified local roofing contractor.

1. Roof Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Info:

• The roof was visually inspected using a drone incorporating HD video and HD pictures.

Materials:

• Rolled roofing noted.

Observations:

1.1. All roof components appeared to be in serviceable condition at the time of the inspection.

Roof inspection typically includes examination of the following:

Roof-covering material

Presence of an underlying membrane (if visible)

Permanent structures such as chimneys

Flashing of all roof covering penetrations such as vents and chimneys, junctions with dissimilar materials, valleys, any extreme changes in the slope of the roof

Gutter and downspout condition

Condition of any installed skylights



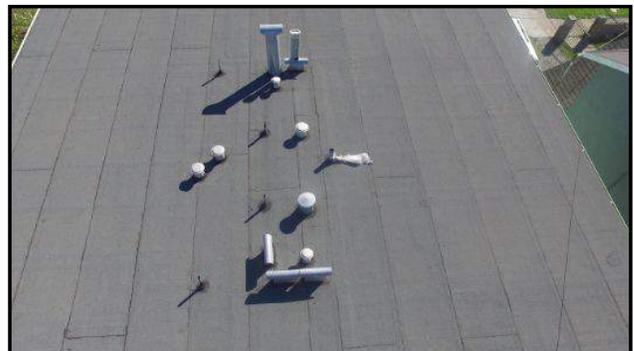
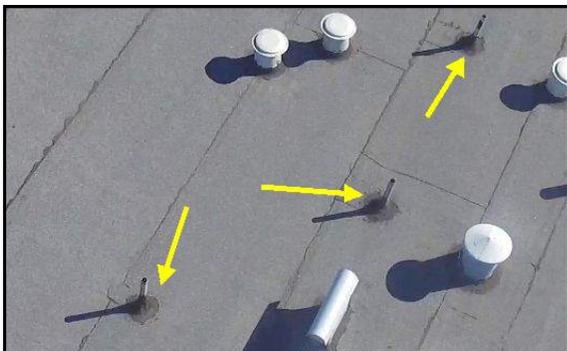
2. Vents

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

2.1. The vents and vent caps appeared to be in serviceable condition at the time of the inspection.

2.2. The area at which the plumbing vent penetrated the roof was reliant upon a sealant to prevent moisture intrusion of the roof structure. Sealants eventually dry, shrink and crack and can allow moisture intrusion of the roof assembly. You should be diligent in having sealants examined annually and re-applied as necessary.



3. Gutters and Downspouts

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

3.1. The roof drainage system consisted of conventional gutters hung from the roof edges feeding downspouts. The gutters and downspouts are examined for visible damage but the inspection will not always detect leaking gutters or downspouts.

3.2. Some downspouts need splash blocks to route water away from foundation.

ELECTRICAL

Electrical Introduction

A wide variety of electrical systems have been installed over the years and electrical systems have been affected by the following:

- Code requirements which existed at the time the home was built or additional electrical work was performed.
- The abilities and inclinations of the system designer and installers
- Original construction budget.
- Changes made over the years

Home inspectors are generalists, and although familiarity with electrical systems is a fundamental part of home inspection, inspectors are not electricians, and will not be familiar with all electrical systems and components installed over the years.

Electrical standards and codes have evolved over the years and home electrical systems and their components are required to comply only with codes which were in effect at the time the home was built or the additional work was performed.

A Home Inspector's concern with electrical systems is not code compliance but the degree to which the installed electrical system safely provides for the electrical requirements of the home. The home inspector's concern will be commenting on safety and system defects, not code violations. Some conditions commented upon may not be code violations and some code violations may not be commented upon.

If in the opinion of the Inspector, the installed electrical system or any of its components is failing or may fail to safely provide for the electrical requirements of the home, the Inspector will recommend evaluation and/or correction by a qualified electrical contractor.

The General Home Inspection is a visual inspection and complies with the current Standards of practice of the International Association of Certified Home Inspectors.

OLDER ELECTRICAL SYSTEM (Older Home)

The home contained an older electrical system which, while it may technically meet National Electric Code requirements, may not meet modern safety standards. As electrical technology and has advanced over the years, so has our knowledge of electrical safety practices. This means that often, older systems, though not technically defective, do not meet modern safety standards. Because the General Home Inspection is not a code inspection but an inspection for safety issues and system/component defects, this report will mention any conditions which in the Inspector's opinion may affect the personal safety of those who may come into contact with it.

The National Electric Code (NEC) has been published by the National Fire Protection Association since 1911. It is considered to be the primary authority on safe wiring practices and has been updated frequently. Because the NEC never disallows something once it has been approved, older systems which have been installed and maintained correctly are not considered to be defective. Homes are not required to update electrical equipment each time the National Electric Code is updated.

1. Meter Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Location:

- Meter located on left side of structure

Observations:

1.1. The electric meter appeared to be in serviceable condition at the time of the inspection. Electric meters are installed by utility companies to measure home electrical consumption.

2. Cable Feeds/Underground Service

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

2.1. There is an overhead service drop noted.

2.2. Components of the overhead service entrance appeared to be properly installed and in satisfactory condition at the time of the inspection.

Components inspected included the following

- Masthead
- Mast condition and support
- Service entrance
- Meter condition



3. Main/Sub Electrical Panel Observations

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Main Panel Location:

- Main disconnects located on left side of structure

Sub Panel Location:

- No Sub Panels located.

Observations:

3.1. No major system safety or function concerns noted at time of inspection at main electrical panel box.

3.2. Because the service entrance conductors were hidden behind service pane components the inspector was unable to view markings in order to determine the service conductor amperage rating.

The Inspector was unable to confirm the existence of proper conditions when confirmation would require information taken from markings on the conductors. Confirmation of correct main conductor sizing will require the services of a qualified electrical contractor.

3.3. The main disconnect was a fuse block type which was disconnected by pulling out the block.



4. Fuses Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

- 15 amp

Observations:

4.1. The main electrical service panel was an older type which employed screw-in fuses instead of circuit breakers.

Consider upgrading to a modern system using breakers, especially if you plan to install additional appliances.

FOUNDATION/CRAWLSPACE

1. Foundation Type

Type
• Slab on Grade

2. Slab Foundation

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

2.1. Foundation construction included a slab-on-grade. Because the General Home Inspection is a visual inspection, inspection of the slab-on-grade foundation is limited by the fact that typically, most of the foundation and slab is hidden underground or by interior floor coverings. Where possible, I inspect that portion of the foundation visible at the home exterior between grade and the bottom of the exterior wall covering. Shrinkage cracks are often visible and are not a structural concern. It is possible for moisture to enter the foundation through these cracks by capillary action and within the home structure this moisture may cause damage typically detectable only through invasive techniques that lie beyond the scope of the General Home Inspection.

3. Foundation Perimeter

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

3.1. No deficiencies were observed at the visible outside perimeter of the structural components of the home.

ATTIC

This report describes the method used to inspect any accessible attics; and describes the structure, insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect structure, insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Access

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

1.1. No attic access observed.

INTERIOR AREAS

Interior Area Comments

This inspection does not include testing for radon, mold or other hazardous materials unless specifically requested.

Plumbing is an important concern in any structure. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring.

Note that if in a rural location, sewer service and/or water service might be provided by private waste disposal system and/or well. Inspection, testing, analysis, or opinion of condition and function of private waste disposal systems and wells is not within the scope of a home inspection. Recommend consulting with seller concerning private systems and inspection, if present, by appropriate licensed professional familiar with such private systems. If a Septic System is on the property, pumping is generally recommended prior to purchase, and then every three years.

Interior areas consist of bedrooms, baths, kitchen, laundry, hallways, foyer, and other open areas.

All exposed walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Although excluded from inspection requirements, we will inform you of obvious broken gas seals in windows. Please realize that they are not always visible, due to temperature, humidity, window coverings, light source, etc. Your inspection will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas, as the inspector will not move personal items.

An inspection does not include the identification of, or research for, appliances and other items that may have been recalled or have had a consumer safety alert issued about it.

New rules concerning water flow rates.

Senate Bill 407 became law on January 1, 2014, and applies to all Single Family Residences built before January 1, 1994. This legislation requires that water conserving plumbing fixtures be installed throughout the home as a condition of building permits applied for after January 1, 2014. As of January 1, 2017 all single-family residences built prior to January 1, 1994 must comply with these requirements (permit or no permit) and homeowners are required to install water saving fixtures, if current fixtures are out of compliance. This law will not affect commercial or multi-family properties until January 1, 2019.

If a toilet is greater than 1.6 gpf, a 1.28 gpf toilet is required.

If a shower head flows more than 2.5 gpm, a 2 gpm shower head is required.

If a lavatory faucet flows more than 2.2 gpm, a 1.2 gpm faucet is required.

If a kitchen sink faucet flows more than 2.2 gpm, a 1.8 gpm faucet is required.

If a urinal (wall mounted) uses more than 1 gpf, a .125 gpf urinal is required.

As a condition of all building permits issued for home improvements the Authority Having Jurisdiction (AHJ) is charged with verifying compliance with these requirements. For example, the City of Concord, CA will utilize self-certification by the property owner in lieu of inspections when a building permit is taken out. Basically, if you take out a building permit, you sign a form saying your fixtures are compliant. Whether a jurisdictional inspector will measure flow rates and inspect toilets inside the home is yet to be seen.

GFCI PROTECTION

GFCI protection has been required for all 15A and 20A, 125V receptacles in the bathroom area of a dwelling unit since 1971.

In older homes, there may be no requirement for GFCI's to be installed. The seller is not required to upgrade the receptacles unless the electrical system has been modified. So if the kitchen in a 1950's house has been remodeled, and receptacles have been added or moved, they must be upgraded to GFCI receptacles if they are within 6 feet of a plumbing fixture. This applies to bathrooms too.

GFCI protection devices are also required for all 15A and 20A, 125V receptacles located in garages and grade-level portions of unfinished or finished accessory buildings used for storage or work areas of a dwelling unit [210.8(A)(2)]. However, there are a couple of exceptions to this rule. GFCI protection is not required for receptacles that are not readily accessible, such as a ceiling-mounted receptacle for a garage door opener. Nor are they required for a receptacles on a dedicated branch circuit located and identified for a cord-and-plug-connected appliance, such as a refrigerator or freezer.

Per 210.8(A)(3), all 15A and 20A, 125V receptacles outside of a dwelling unit, including receptacles installed under the eaves of roofs, shall be GFCI-protected. The only exception to this rule is that GFCI protection is not required for fixed electric snow melting or de-icing equipment receptacles that are not readily accessible and are supplied by a dedicated branch circuit in accordance with 426.28. In addition, all 15A and 20A, 125V receptacles installed within a dwelling unit crawl space [210.8(4)] or in each unfinished portion of a basement not intended as a habitable room but used for storage or as a work area [210.8(5)], must be GFCI-protected. However, the Code does note a few exceptions to these rules: GFCI protection is not required for receptacles that are not readily accessible or are located on a dedicated branch circuit and identified for a specific cord-and-plug-connected appliance, such as a sump pump.

And per 210.8(A)(6), GFCI protection is required for all 15A and 20A, 125V receptacles that serve kitchen countertop surfaces in a dwelling unit. GFCI protection is not required for receptacles serving appliances like dishwashers, or convenience receptacles that do not supply countertop surfaces. Receptacles installed within 6 ft of the outside edge of a wet bar sink must also be GFCI-protected [210.8(A)(7)]. However, GFCI protection is not required for receptacles not intended to serve wet bar countertop surfaces, such as refrigerators, ice makers, water heaters, or convenience receptacles that do not supply counter-top surfaces.

The TEST and RESET Buttons are great indicators of the operation of the device, however a reading with a tester is still the best way to find out if the GFCI has been wired correctly in your home electrical wiring system.

With older GFCI receptacles, especially those found outdoor or in high moisture areas, it is common to find the buttons "stuck" or in-operable. Always replace the GFCI receptacle if this is found and test the device upon completion. Make sure outdoor receptacles are installed in weather proof enclosures to prevent damage from moisture. Use appropriate covers for your home electrical wiring application. If a cord will be used for extended periods of time, install approved covers that provide moisture protection for the receptacle and cord where the cover will close and latch while a cord is plugged in.

Furnished Home Comments

The residence was furnished at the time of the inspection and portions of the interior were hidden by the occupant's belongings. In accordance with industry standards, the inspection is limited to only those surfaces that are exposed and readily accessible. The Inspector does not move furniture, lift floor-covering materials, or remove or rearrange items within closets or on shelving. On your final walk through, or at some point after furniture and personal belongings have been removed, it is important that you inspect the interior portions of the residence that were concealed or otherwise inaccessible at the time of the inspection. Contact the Inspector immediately if any adverse conditions are observed that were not commented on in your inspection report.

1. General Interior Conditions

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

1.1. The home showed moderate general wear and deterioration commensurate with its age.

2. Doors

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

2.1. The interior doors appeared to be in serviceable condition throughout the home at the time of the inspection.
Door inspection includes examination for proper installation, operation and condition.

2.2. Some door stop(s) missing; recommend installation to avoid unnecessary wall or door damage.



Bathroom door. 313. Damage noted.

3. Wall Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Drywall walls noted.

Observations:

3.1. The interior walls of the home appeared to be in serviceable condition at the time of the inspection.

4. Ceiling Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- There are drywall ceilings noted.
- "Popcorn" ceiling

Observations:

4.1. Some of the ceilings in the home are textured or what is called "popcorn ceiling". Many homes built in the late 1930s through the 1990s have popcorn ceilings or some type of texture applied to the ceilings. According to the EPA, the use of asbestos in textured ceiling paint was banned in 1978. However, not all popcorn ceilings contain asbestos. Moreover, if left undisturbed or contained, asbestos is not dangerous. You could leave the popcorn ceiling and contain it by painting it, or you could remove it.

4.2. Extensive water damage to general area of ceiling in 315 where the past leaking had occurred. Areas are marked with peeling paint and bulging drywall. Have a contractor evaluate.



Damage noted. 315.



Patching noted in bathroom of 311.

5. Floor Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Various flooring types noted.
- Carpet is noted.
- Tile flooring noted.

Observations:

5.1. Stored personal items prevented full inspection.

5.2. The floors showed general minor damage or wear in various areas.

6. Window Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Aluminum framed sliding window noted.

Observations:

6.1. Most windows appeared to be in serviceable condition at the time of the inspection. Notable exceptions will be listed in this report. Windows are inspected for proper operation, condition of sill, sash, hardware and the condition of weather-sealing components.

6.2. In accordance with ASHI Standards, we do not test every window in the house. We do test every unobstructed window in every bedroom to ensure that at least one provides an emergency exit.

6.3. Most blinds/window shades not inspected.

6.4. Some window sills/jambes in the home had suffered minor sun damage.



Possible mold noted at bedroom window. 303.

7. Closets

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

7.1. The closet(s) are in serviceable condition.

7.2. Stored personal items prevented full inspection.

8. Electrical

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

8.1. Interior lighting appeared to be in serviceable condition at the time of the inspection.

8.2. The majority of grounded receptacles , were tested and found to be wired correctly.

8.3. Home branch circuit wiring consists of devices such as switches, outlets, connections for permanently-wired appliances and the electrical conductors which supply them with electricity. Most conductors are hidden behind floor, wall and ceiling coverings and cannot be evaluated by the inspector. The Inspector does not remove cover plates and inspection of branch wiring is limited to proper response to testing of switches and electrical outlets.

8.4. Although the Inspector attempted to confirm proper operation of all accessible switches in the home, identifying and confirming the location of devices controlled by all switches and proper operation of all switches lies beyond the scope of the home inspection. Inspection will not always reveal inoperable switches.

8.5. Some outlets not accessible due to furniture and or stored personal items.

8.6. 2-prong outlets -

The home contained outdated, ungrounded 2-prong electrical outlets. Although this condition may have been commonly considered safe or acceptable at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. Consider updating the existing condition to meet generally-accepted current standards.

9. Smoke and CO Detectors

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

9.1. *INFORMATION*

The authority for the installation of smoke detectors and CO detectors is the Consumer Product Safety Commission and this is their recommendation: CO DETECTORS. CO alarms should be installed according to the manufacturer's instructions. CPSC recommends that one CO alarm be installed in the hallway outside the bedrooms in each separate sleeping area of the home and in dwellings that have attached garages. Additional detectors on every level provides extra protection. CO alarms may be installed into a plug-in receptacle or high on the wall. Hard wired or plug-in CO alarms should have battery backup. Avoid locations that are near heating vents or that can be covered by furniture or draperies. CPSC does not recommend installing CO alarms in kitchens or above fuel-burning appliances.

SMOKE DETECTORS. CPSC recommends smoke alarms on every level of the home, outside sleeping areas, and inside bedrooms. Replace batteries annually. When shopping for smoke alarms, consumers should consider the different types of smoke alarms. Both types are effective smoke sensors. Ionization type detectors respond quickly to flaming fires. Photoelectric type detectors respond sooner to smoldering fires. Because both ionization and photoelectric smoke alarms are better at detecting distinctly different yet potentially fatal fires, and because homeowners cannot predict what type of fire might start in a home, CPSC staff recommends consumers install both ionization and photoelectric type smoke alarms in their homes. There are smoke alarms that combine both detection technologies into one unit called dual sensor smoke alarms.

See Link: <http://sacramentoappraisalblog.com/2012/06/13/where-do-you-install-carbon-monoxide-detectors-in-your-home/>

See Link: <http://sacramentoappraisalblog.com/?s=smoke+detector>

9.2. *IMPORTANT INFORMATION* Testing of smoke detectors and carbon monoxide detectors is not included in this inspection. Pushing the "Test" button only verifies that there is power at the detector--either a battery (even if the batteries are near the end of their life) or hard wired to the house power--and not the operational workings of the detector. The operational check is done by filling the sensor with smoke and/or carbon monoxide by using a large cotton wick and/or cannisters and is beyond the scope of this inspection. Battery operated smoke alarms and carbon monoxide alarms should be checked routinely and the batteries changed frequently. With any new home purchase, the inspector STRONGLY recommends changing the old batteries with new batteries and changing them every year and replacing old smoke and CO detectors. Smoke and CO detectors typically last 6-10 years.

9.3. Old detectors. Smoke detectors last 6-10 years. Recommend replacing.

9.4. The Inspector recommends placing additional Carbon Monoxide detectors to protect sleeping areas as per the CPSC guidelines above.

BATHROOMS

In accordance with the Standards of Practice, the inspector is not required to comment on simple cosmetic deficiencies, evaluate window coverings, steam showers or air-entrainment systems such as those in whirlpool tubs and Jacuzzis. Saunas are not operated but will be examined for visual defects. The inspector does not perform leak-testing of shower pans or shower enclosures but will comment on obvious leakage when fixtures are operated during the inspection.

Inspection of bathrooms typically includes examination of the following:

ROOM

- Window, skylight and door (condition and operation)
- Wall, ceiling and floor condition
- Moisture meter survey for moisture trapped beneath vinyl or tile floor coverings around toilets, tubs and showers.

CABINET

- Exterior and interior
- Door and drawer function

SINK

- Basin and overflow (overflow not tested)
- Faucet valves and stopper (condition and operation)
- Water supply shut-offs (not operated)
- Waste pipe (condition and trap configuration)
- Adequate water flow and drainage

TUB and SHOWER

- Tub condition
- Moisture meter check for moisture behind any wall or floor tile
- Faucet valve and shower head (condition and operation)
- Shower diverter (diverts water from tub faucet to the shower head)
- Shower enclosure (condition and operation)

- Adequate water flow and drainage

TOILETS

- Condition and operation
- Secure connection to floor
- Tank connection to toilet
- Leakage at flapper valve
- Water supply valve condition (not operated)

ELECTRICAL

- Switch operation and placement
- Outlet placement, proper wiring and Ground Fault Protection

ROOM VENTILATION (mechanical or window)

- Presence and operation
- Proper vent termination

1. Cabinets

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 1.1. Appeared functional and in satisfactory condition, at time of inspection.

2. Counters

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 2.1. Solid Surface tops noted.

- 2.2. The counter tops are stained. Normal cleaning should take care of this.

3. Electrical

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 3.1. No major system safety or function concerns noted at time of inspection.



Polarity failure. 315.

4. GFCI

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

4.1. Some bathrooms had no **GFCI** protection present, suggest installing GFCI protected receptacles for safety.

5. Exhaust Fan

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

5.1. The bath fan was operated and no issues were found.



Cover missing. 313.

6. Mirrors

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

6.1. The mirrors are in satisfactory condition.

7. Plumbing

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

7.1. All bathroom fixtures had functional flow at the time of the inspection.

8. Bath Tubs

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

8.1. All bathtub components appeared to be in serviceable condition at the time of the inspection.

Tub inspection includes testing for:

Functional flow;

Functional drainage; and

Operational shut-off valves, faucet, and **diverter valve**



Unable to inspect 315.

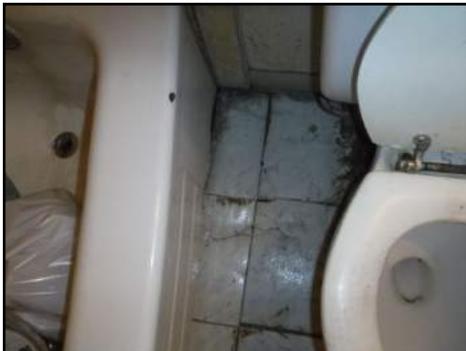
9. Tub/Shower Walls

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

9.1. Caulking needed around perimeter of most tubs and sinks.

9.2. Shower wall tiles were loose at the time of the inspection in 311.



Moisture damage noted. 315.



Tile damaged in 311.

10. Sinks

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

10.1. Drain line leaks under sink. 315. See pic.



Leaking noted. 315.

11. Toilets

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

11.1. Operated when tested. No deficiencies noted.

KITCHEN

Kitchen Comments

Inspection of the kitchen typically includes examination of the following:

- Cabinets
- Sink components including faucet, wand, drain, disposal and undersink plumbing
- Counters
- Room light fixtures, switches and outlets
- Floor, wall and ceiling surfaces
- Windows and doors
- Major appliances such as range and hood or downdraft, dishwasher, microwave, built-in conventional ovens and cooktops.

NOTE:

The following items are inspected at the discretion of the inspector:

- Dishwashers
- Refrigerators
- Trash-compactors
- Wine Refrigerators
- Microwave ovens

1. Cabinets

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 1.1. No deficiencies observed on all kitchen cabinets.
- 1.2. Most not accessible due to stored personal items.

2. Counters

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 2.1. Solid Surface tops noted.
- 2.2. There is normal wear noted for the age of the counter tops.



Damage noted. 315.

3. Cook top condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

- 3.1. The home was equipped with an electric cooktop and separate built-in oven instead of a range. The cooktop appeared to be operating normally and in serviceable condition at the time of the inspection.

3.2. An electric cooktop burner failed to respond when tested. The Inspector recommends service by a qualified technician. 311.



Burner not operating. 311.

4. Built in Oven

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

4.1. The electric built-in oven appeared to be operating normally and in serviceable condition at the time of the inspection.

4.2. The General Home Inspection testing of built-in ovens does not include testing of all oven features, but is limited to confirmation of bake and broil features.

5. Sinks

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

5.1. The kitchen sink appeared to be in serviceable condition at the time of the inspection.



309. Faucet base loose.

6. Refrigerator/Trash Compactor/Freezer

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

6.1. Refrigerator functioned and operated normally when tested. Water and ice maker lines, valves and dispensers (where applicable) are not inspected or tested. Electric outlet was blocked and could not be tested.

7. Plumbing

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

7.1. Sink fixture had functional flow at the time of the inspection.

8. Electrical

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

8.1. No major system safety or function concerns noted at time of inspection.



Hot/neutral reversed. 311.

9. GFCI

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

9.1. Recommend upgrading All receptacle to GFCI protection within 6 feet of all potential wet locations.

HEAT/AC

HVAC Comments

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heater Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Location:

- The furnace is located in the living room

Heater Type:

- The home had a gas fired wall heater.

Observations:

1.1. All wall furnace components appeared to be in serviceable condition at the time of the inspection.

Inspection of the furnace typically includes examination/operation of the following:

- Cabinet interior and exterior
- Fuel supply and shut-off (not tested)
- Adequate combustion air
- Proper ignition
- Burn chamber conditions (when visible)
- Exhaust venting
- Response to the thermostat

2. Enclosure Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

2.1. The furnace cabinet exterior appeared to be in serviceable condition at the time of the inspection.

3. Combustion

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

3.1. The combustion chamber appears to be in functional condition.

4. Gas Valve

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

4.1. Gas shut off valves were present and functional.

5. Thermostats

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

5.1. Analog, non-programmable type.

WATER HEATER

WATER HEATER STRAPPING REQUIREMENTS

In 1989, the State Legislature established the following health and safety standards: (1) All water heaters sold in California shall be braced. (2) Manufacturers of water heaters must provide installation instructions for seismic straps with each fixture sold. (3) The Office of the State Architect must prepare generic installation instructions with standard details illustrating minimum standards for earthquake strapping.

These guidelines were developed for water heaters with a capacity of 52 gallons or less, and may also be utilized for water heaters with a capacity of up to 75 gallons, provided an additional (third) set of bracing straps is provided at mid-height of the water heater. Earthquake bracing details for water heaters with a capacity greater than 75 gallons should be approved by the local building department prior to installation.

The State Architect's specifications, published in 1992, stand as the legal criteria for adequate strapping of water heaters in California.

Basically, the effective standards are these:

- (1) All water heaters must be strapped, whether gas or electric.
- (2) Two straps are needed, one in the upper one-third and one in the lower one-third of the fixture.
- (3) Straps may consist of either plumber's tape (at least 24 gauge) or half-inch-diameter metal conduit.
- (4) Straps should wrap all the way around the body of the water heater. (Many of the strapping kits available in hardware stores fail to comply with these requirements.)
- (5) Straps should be secured to adjacent walls and from opposing directions.
- (6) Straps should be secured to the wall studs using lag bolts that are a quarter inch in diameter by 3 inches long.

1. Water Heater Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Heater Type:

• The water heater was a low-efficiency atmospheric draft type which drew combustion air from the surrounding interior area and expelled hot exhaust gasses through a metal flue to the exterior using natural air flow (convection).

Location:

• The heater is located in the hall closet.

Observations:

1.1. The water heater appeared to be in serviceable condition at the time of the inspection except as noted.

Inspection of gas water heaters typically includes examination of the following...

- Cabinet exterior
- Fuel supply and shut-off
- Water shut-off valve (visual inspection)
- Burn chamber conditions
- Combustion air supply
- Pressure relief valve (not tested)
- Overflow pipe and drip pan
- Exhaust flue
- Response to the call for hot water

1.2. The water heater was manufactured in: 2017, 2004, and 1996. One water heater label was obscured by personal belongings.

1.3. Water heaters have a typical life expectancy of 10-15 years. This is a general guideline. Some units last much longer. We make no warranty, guarantee or estimation as to the remaining useful life of this unit.

1.4. A gas-fired water heater was located in a room used as a storage closet. This location is no longer allowed in new construction. This installation will not supply adequate amounts of combustion air for safe operation. The inspector noted flammable personal belongings stacked up against the water heaters.

2. Base Condition

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

2.1. The water heater base is functional. Some areas not visible due to personal belongings.

2.2. Stains on the floor beneath some of the water heaters indicated tank leakage.

The moisture meter showed no elevated levels of moisture present in the floor at the time of the inspection, indicating that the stains are from a water heater which has been replaced.



3. Water Heater Enclosure

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

3.1. The water heater enclosure is functional.

4. Combustion

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Observations:

4.1. Personal items were present which limited the inspection.

5. Venting

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

5.1. The gas-fired water heater exhaust flue appeared to be properly configured and in serviceable condition at the time of the inspection.

6. TPRV

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Observations:

6.1. Temperature – Pressure drain line is missing. One should be installed to terminate within six inches of the floor to minimize personal injury which may be caused by scalding water, in the event of a pressure blow-off. 303.

6.2. The pressure relief valve has been capped or plugged. This is a dangerous condition which should be corrected immediately. 311.



TPRV missing pipe 303.



TPRV capped. 311.

7. Number Of Gallons

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

7.1. 30 gallons

8. Gas Valve

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

8.1. The gas shut-off appeared to be in serviceable condition at the time of the inspection. It was not operated but was visually inspected.

8.2. There is a automatic gas shut off valve attached to the hot water side of the plumbing pipe. This valve will shut off the gas if the temperature of the water exceeds 210 degrees.



Automatic gas valve.



Handle missing. 303.

9. Plumbing Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Materials:

- Copper
- Stainless Steel

Observations:

9.1. Corrosion observed. Location: Have all pipes reviewed. 309.

9.2. Water heater plumbing needs to be flexible to conform to earthquake standards. 313, 309, 311.



Corrosion noted. 309.



313. No flex pipe to meet earthquake code.



No flex pipe to meet earthquake code. 309.



Missing flex line. 311.

10. Overflow Condition

Good	Fair	Poor	Critical	N/A
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

10.1. Although the water heater was installed in a location in which leakage of the tank or plumbing connections would cause damage, no drip pan was installed at some locations.
A proper drip pan should be installed to prevent possible water damage.

11. Strapping

Good	Fair	Poor	Critical	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Observations:

11.1. Strapping appeared to be adequate at the time of the inspection.

Residential Earthquake Hazards Report

- | | | | | |
|-------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|---|
| Yes | No | N/A | Don't Know | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 1. Is the water heater braced, strapped, or anchored to resist falling during an earthquake? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 2. Is the house anchored or bolted to the foundation? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. If the house has cripple walls: |
| | | | | a. Are the exterior cripple walls braced? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | b. If the exterior foundation consists of unconnected concrete piers and posts, have they been strengthened? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. If the exterior foundation, or part of it, is made of unreinforced masonry, has it been strengthened? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. If the house is built on a hillside: |
| | | | | a. Are the exterior tall foundation walls braced? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | b. Were the tall posts or columns either built to resist earthquakes or have they been strengthened? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 6. If the exterior walls of the house, or part of them, are made of unreinforced masonry, have they been strengthened? |
| Yes | No | N/A | Don't Know | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 7. If the house has a living area over the garage, was the wall around the garage dooropening either built to resist earthquakes or has it been strengthened? |
| Yes | No | Don't Know | Don't Know | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 8. Is the house outside an Alquist-Priolo Earthquake Fault Zone (zones immediately surrounding known earthquake faults)? |
| Yes | No | Don't Know | Don't Know | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 9. Is the house outside a Seismic Hazard Zone (zone identified as susceptible to liquefaction or landsliding)? |

EXECUTED BY:

 (Seller) (Seller) Date

I acknowledge receipt of this form, completed and signed by the seller. I understand that if the seller has answered "No" to one or more questions, or if seller has indicated a lack of knowledge, there may be one or more earthquake weaknesses in this house.

 (Buyer) (Buyer) Date

Glossary

Term	Definition
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
Diverter Valve	Diverter valves sit behind the wall near the shower trim. Diverters are typically set in a default to push water up to the showerhead, but can be adjusted to push water through a tub filler faucet, handshower, or body sprays.
Flashing	"Flashing" is a general term used to describe sheet metal fabricated into shapes used to protect areas of the roof from moisture intrusion. Typical areas of installation include roof and wall penetrations such as vent pipes, chimneys, skylights and areas where dissimilar roofing materials or different roof slopes meet.
Flue	A duct for smoke and waste gases produced by a fire, a gas heater, a power station, or other fuel-burning installation.
GFCI	<p>A ground fault circuit interrupter (GFCI) or Residual Current Device (RCD) is a device that shuts off an electric power circuit when it detects that current is flowing along an unintended path, such as through water or a person. It is used to reduce the risk of electric shock, which can cause the heart to stop or cause burns. They can also prevent some fires, like when a live wire touches a metal conduit.</p> <p>GFCI protection is recommended for the following:</p> <ul style="list-style-type: none"> 15- and 20-amp kitchen countertop receptacles and outlets for dishwashers; 15- and 20-amp bathroom and laundry receptacles; 15- and 20-amp receptacles within 6 feet of the outside edge of a sink, bathtub or shower; electrically-heated floors in bathrooms, kitchens, and hydromassage tubs, spas, and hot tubs; 15- and 20-amp exterior receptacles, which must have GFCI protection, except for receptacles not readily accessible that are used for temporary snow-melting equipment and are on a dedicated circuit; 15- and 20-amp receptacles in garages and unfinished storage buildings; 15- and 20-amp receptacles in boathouses and 240-volt and less outlets at boat hoists; 15- and 20-amp receptacles in unfinished basements, except receptacles for fire or burglar alarms; and 15- and 20-amp receptacles in crawlspaces at or below ground level. <p>See this link to learn more: https://www.nema.org/Products/Documents/NEMA-GFCI-2012-Field-Representative-Presentation.pdf</p>

Service Panel	A main electrical service panel is a metal enclosure containing various electrical components. The type, condition and arrangement of the service panel and its components must comply with safety standards, usually those of the National Electric Code established by the National Fire Protection Association. Requirements may also vary by jurisdiction.
Soffit	The underside of an architectural structure such as an arch, a balcony, or overhanging eaves.
Valley	The internal angle formed by the junction of two sloping sides of a roof.

DATE: 2.24.20

PROPOSAL # 147

JOE FARRELL PAVING AND GRADING INC.
EL SOBRANTE SEWER REPAIR
GENERAL ENGINEERING
CONTRACTOR LICENSE # 661168

Scott Farrell (510)610-9465
Email: ElSobranteSewer1@yahoo.com



PROPOSAL SUBMITTED TO:

Name: Property Owner
Address: 309 S.13th
City: Richmond

We hereby propose to furnish all material & necessary equipment to perform all labor required for completion of the following:

Method: Pipe burst using 4 inch Hdpe

Description

We will replace the sewer lateral from the point the sewer exits the dwelling , to the connection before the city main in the back alley. This will eliminate any offsets or root intrusions and bring sewer to city compliance.

We will Install a new cleanout with back flow device per city requirements.

We will back fill and relandscape work site.

We will haul out any debris removed from contractor.

1 day of traffic control included.

All material , permits and labor included.

Certificate of compliance included

10 year warranty on pipe and material.

Note* No change in grade with pipe bursting procedure. If pipe is encased in concrete, or if existing pipe material is ductile iron, there will be an extra charge determined by the amount of time it takes for extra work . If there are any other obstructions that prevent us from pipe bursting, extra charges will be applied. There will be an extra fee for: any additional potholing and/or hauling out any contaminated soil. If the sewer is deeper then 10 ft, extra fees will apply.
All materials are guaranteed to be as specified and the above work to be performed in accordance with the drawings specifications submitted for the above work, completed in a substantial workmanlike manner for:

THE SUM OF: \$5,800

You the homeowner/buyer, customer have the right to require the contractor to furnish you with a performance bond. You may cancel this transaction at any time prior to midnight of the 3rd business day after the date of this transaction. Cancellation by the customer after the right to rescind has passed shall be deemed material breach of this agreement and entitles the Contractor to damages. *Contractors are required by law to be licensed and regulated by the California State Contractor's License Board which has jurisdiction to investigate complaints against contractors if a complaint is filled within 3years of the date of the alleged violation. Any questions refer to the Contractor's State License Board, PO. Box 26000, Sacramento, CA 95828. **NOTE: THIS PROPOSAL MAY BE WITHDRAWN IF NOT ACCEPT WITHIN 30 DAYS.*

TERMS NET UPON COMPLETION

-- RESPECTFULLY SUBMITTED BY JOE FARRELL--

ACCEPTANCE OF PROPOSAL: You are hereby authorized to furnish all material, equipment, and labor required to complete the work described in the above proposal for which the undersigned agrees to pay the amount stated in the said proposal and according to the terms thereof.

DATE: __/__/__ SIGNATURE: _____

Family owned and operated for over 25 years...



A FIDELITY NATIONAL FINANCIAL, INC. COMPANY

P.O. Box 7134
San Francisco, CA 94120-7134

DEMAND

Order Number: 200304-00277
Escrow Number:
Demand Date: 3/4/2020

Bill To:

Amount Due: \$99.00

BOBBY KING
SELECT REAL ESTATE GROUP
1511 SYCAMORE AVE STE M
HERCULES, CA 94547-1770

Please include the Order Number on
check to receive proper credit.

THE LIABILITY PROVISIONS OF THE REPORT DO NOT APPLY UNTIL FULL PAYMENT IS RECEIVED

Ordering Party/Agent

Escrow

Order Details

BOBBY KING
SELECT REAL ESTATE GROUP
1511 SYCAMORE AVE STE M
HERCULES, CA 94547-1770
(888) 248-3988

Property Address:
2019 CHARLES R DUNN TRUST, ; DUNN,
CHARLES R
309 S 13TH ST
RICHMOND, CA 94804-2505

Quantity

Description

Amount

Total

Quantity	Description	Amount	Total
1	Residential Premium	\$99.00	\$99.00

Subtotal: \$99.00
Paid: \$0.00
Amount Due \$99.00

Important Ordering Agent Payment Instructions:

When escrow opens for this transaction please do the following:

1. Fill out the escrow information above.
2. Fax a copy of this demand to Disclosure Source at (800) 287-8673.
3. Have this demand placed into the escrow file for payment.
4. **Should the escrow we were instructed to bill not close, please forward this demand to the next escrow, and inform Disclosure Source of the new pertinent data.** Disclosure Source will provide the new escrow with an updated demand and a copy of the report.

In the event demands are unpaid after closing, the Ordering Agent will be responsible for payment.

Escrow Instructions:

If the escrow documents are being transferred to a new escrow, please notify Disclosure Source Customer Service at (800) 880-9123 to update changes and transfer this demand along with the Disclosure Source Report to the new escrow. If the escrow fails to close, please notify the Disclosure Source Accounting Dept. at (800) 880-9123.

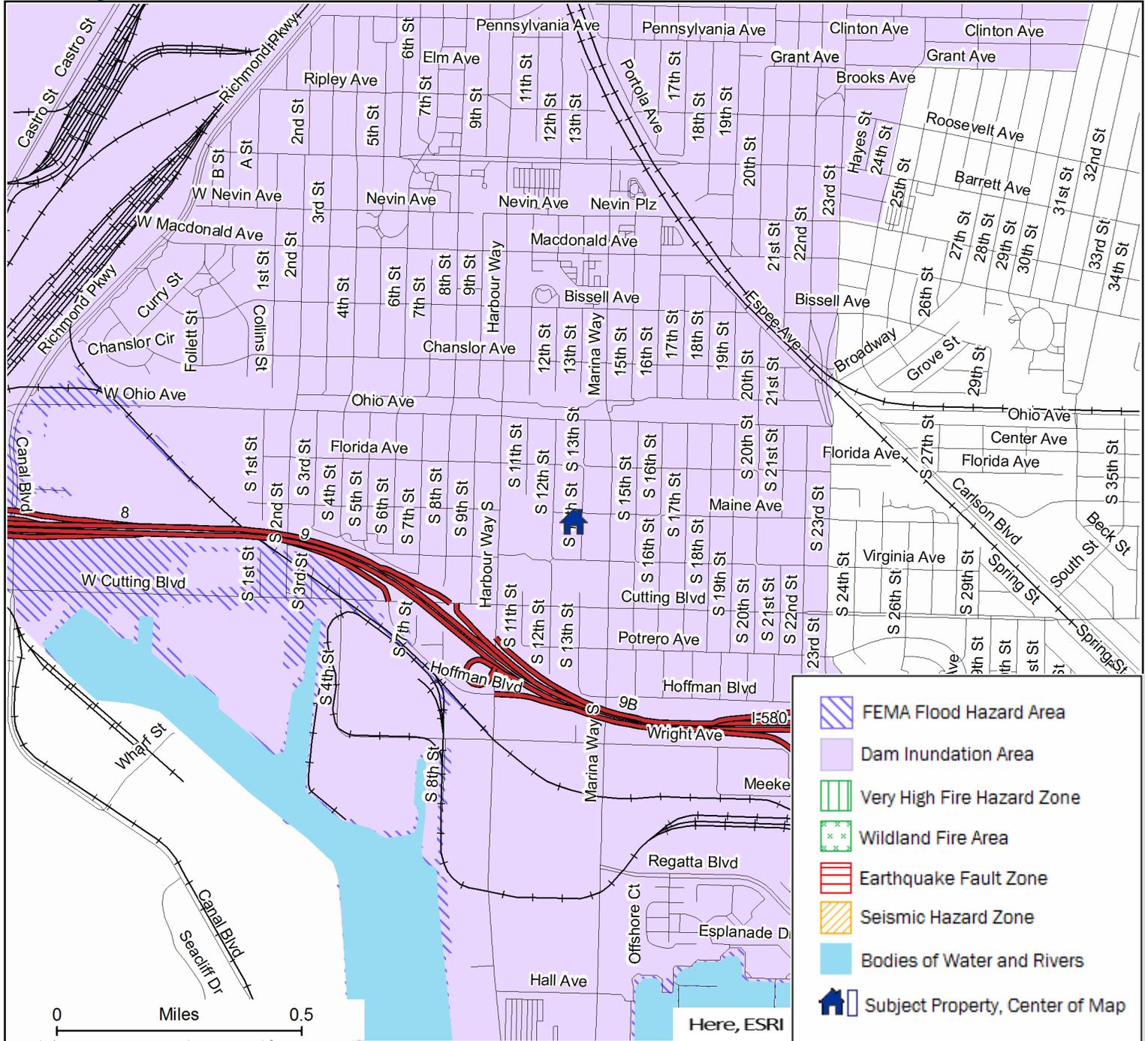
California Residential Disclosure Report

Property Address: 309 S 13TH ST
 RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Statutory Natural Hazard Disclosures



- IS IS NOT Located in a FEMA Special Flood Hazard Area.
- * IS IS NOT Located in a Dam Inundation Area.
- IS IS NOT Located in a Very High Fire Hazard Severity Zone.
- IS IS NOT Located in a Wildland Fire Area.
- IS IS NOT Located in an Alquist-Priolo Earthquake Fault Zone.
- IS IS NOT Located in a Seismic Hazard Zone.

This map is for your aid in locating natural hazard areas in relation to the subject Property described above. Please verify street address and/or assessor's parcel number for accuracy. The map is intended for informational purposes only. The company assumes no liability (express or implied) for any loss occurring by reference, misinterpretation, misuse, or sole reliance thereon. **This map is not intended for use as a substitute disclosure under California law.**

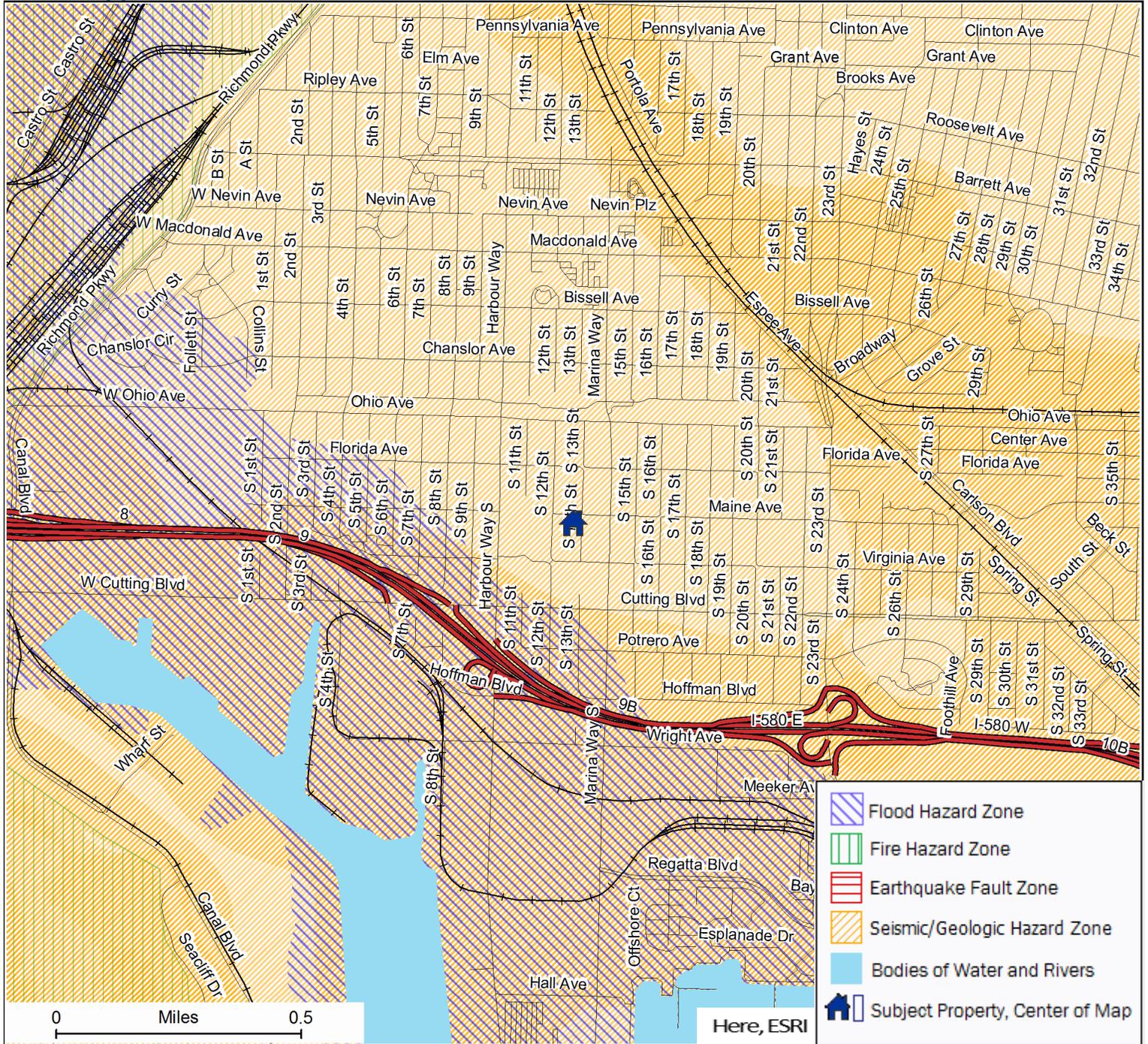
* Please read the report for further information

Property Address: 309 S 13TH ST
 RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Local/Supplemental Natural Hazard Disclosures



- IS IS NOT in a Supplemental Flood Hazard Zone.
- IS IS NOT in a Supplemental Fire Hazard Zone.
- IS IS NOT in a Supplemental Earthquake Fault Zone.
- * IS IS NOT in a Supplemental Seismic/Geologic Hazard Zone.

This map is for your aid in locating natural hazard areas in relation to the subject Property described above. Please verify street address and/or assessor's parcel number for accuracy. The map is intended for informational purposes only. The company assumes no liability (express or implied) for any loss occurring by reference, misinterpretation, misuse, or sole reliance thereon. **This map is not intended for use as a substitute disclosure under California law.**

* Please read the report for further information



California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505
Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

NATURAL HAZARD DISCLOSURE STATEMENT

This statement applies to the following property: **309 S 13TH ST, RICHMOND, CA, 94804-2505 APN: 544-131-003-3**

The seller and the seller's agent(s) or a third-party consultant disclose the following information with the knowledge that even though this is not a warranty, prospective buyers may rely on this information in deciding whether and on what terms to purchase the subject property. Seller hereby authorizes any agent(s) representing any principal(s) in this action to provide a copy of this statement to any person or entity in connection with any actual or anticipated sale of the property. The following are representations made by the seller and seller's agent(s) based on their knowledge and maps drawn by the state and federal governments. This information is a disclosure and is not intended to be part of any contract between the seller and buyer.

THIS REAL PROPERTY LIES WITHIN THE FOLLOWING HAZARDOUS AREA(S):

A SPECIAL FLOOD HAZARD AREA (Any type Zone "A" or "V") designated by the Federal Emergency Management Agency.
Yes _____ No **X** Do not know and information not available from local jurisdiction _____

AN AREA OF POTENTIAL FLOODING shown on a dam failure inundation map pursuant to Section 8589.5 of the Government Code.
Yes **X** No _____ Do not know and information not available from local jurisdiction _____

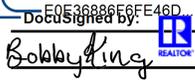
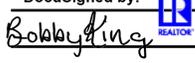
A VERY HIGH FIRE HAZARD SEVERITY ZONE pursuant to Section 51178 or 51179 of the Government Code. The owner of this property is subject to the maintenance requirements of Section 51182 of the Government Code.
Yes _____ No **X**

A WILDLAND AREA THAT MAY CONTAIN SUBSTANTIAL FOREST FIRE RISKS AND HAZARDS pursuant to Section 4125 of the Public Resources Code. The owner of this property is subject to the maintenance requirements of Section 4291 of the Public Resources Code. Additionally, it is not the state's responsibility to provide fire protection services to any building or structure located within the wildlands unless the Department of Forestry and Fire Protection has entered into a cooperative agreement with a local agency for those purposes pursuant to Section 4142 of the Public Resources Code.
Yes _____ No **X**

AN EARTHQUAKE FAULT ZONE pursuant to Section 2622 of the Public Resources Code.
Yes _____ No **X**

A SEISMIC HAZARD ZONE pursuant to Section 2696 of the Public Resources Code.
Yes (Landslide Zone) _____ Yes (Liquefaction Zone) _____ No **X** Map not yet released by state _____

THESE HAZARDS MAY LIMIT YOUR ABILITY TO DEVELOP THE REAL PROPERTY, TO OBTAIN INSURANCE, OR TO RECEIVE ASSISTANCE AFTER A DISASTER. THE MAPS ON WHICH THESE DISCLOSURES ARE BASED ESTIMATE WHERE NATURAL HAZARDS EXIST. THEY ARE NOT DEFINITIVE INDICATORS OF WHETHER OR NOT A PROPERTY WILL BE AFFECTED BY A NATURAL DISASTER. SELLER(S) AND BUYER(S) MAY WISH TO OBTAIN PROFESSIONAL ADVICE REGARDING THOSE HAZARDS AND OTHER HAZARDS THAT MAY AFFECT THE PROPERTY.

Signature of Seller(s)		Date	3/4/2020
Signature of Seller(s)		Date	3/4/2020
Seller's Agent(s)		Date	3/4/2020
Seller's Agent(s)	92DA8E5C67F146E...	Date	

Check only one of the following:

- Seller(s) and their agent(s) represent that the information herein is true and correct to the best of their knowledge as of the date signed by the seller (s) and agent(s).
- Seller(s) and their agent(s) acknowledge that they have exercised good faith in the selection of a third-party report provider as required in Section 1103.7 of the Civil Code, and that the representations made in this Natural Hazard Disclosure Statement are based upon information provided by the independent third-party disclosure provider as a substituted disclosure pursuant to Section 1103.4 of the Civil Code. Neither seller(s) nor their agent(s) (1) has independently verified the information contained in this statement and report or (2) is personally aware of any errors or inaccuracies in the information contained on the statement. This statement was prepared by the provider below:

Third-Party Disclosure Provider(s)		Date	3/4/2020
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Buyer represents that he or she has read and understands this document. Pursuant to Civil Code Section 1103.8, the representations made in this Natural Hazard Disclosure Statement do not constitute all of the seller's or agent's disclosure obligations in this transaction.

By signing below, the buyer(s), also acknowledge they have read and understand the additional disclosures, notices, advisories, and disclaimers provided in this report including, but not limited to, local/supplemental natural hazards, commercial/industrial zoning, airport influence area and airport proximity, Williamson Act, right to farm, mining operations, transfer fee notice, notice of your supplemental property tax bill, gas and hazardous liquid transmission pipelines, toxic mold, methamphetamine or fentanyl contaminated property, Megan's law, flood insurance, military ordnance location, energy efficiency standards, water conserving plumbing fixtures, solar energy systems notice, mudslide / debris flow advisory, habitat sensitivity area/endangered species, oil, gas wells and methane, naturally occurring asbestos, radon, additional local disclosures, tax information (Mello-Roos and 1915 special tax and assessments notice, tax summary), if included in the report, environmental information, if included in the report, and links to download Governmental Guides referred to in the Report (additional signatures may be required):

1. "Residential Environmental Hazards: A Guide for Homeowners, Homebuyers, Landlords and Tenants";
2. "Protect Your Family From Lead In Your Home";
3. "Homeowners Guide to Earthquake Safety" and "Residential Earthquake Hazards Report" form;
4. "What is your Home Energy Rating?".

Signature of Buyer(s)		Date	8/6/2020 10:28 PM EDT
Signature of Buyer(s)		Date	8/6/2020 7:25 PM PDT

California Residential Disclosure Report

Property Address: 309 S 13TH ST
 RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

THE RECIPIENT(S) SHOULD CAREFULLY READ THE EXPLANATION OF SERVICES, CONDITIONS, LIMITATIONS & DISCLAIMERS CONTAINED IN THIS REPORT.

PAYMENT POLICY: FULL PAYMENT FOR THIS REPORT IS DUE UPON CLOSE OF ESCROW. THE LIABILITY PROVISIONS OF THE REPORT DO NOT APPLY UNTIL FULL PAYMENT IS RECEIVED.

CANCELATION POLICY: OUR REPORT CAN ONLY BE CANCELLED IF ESCROW IS CANCELLED, OR THE SELLER TAKES THE PROPERTY OFF THE MARKET. SIGNED ESCROW CANCELLATION INSTRUCTIONS ARE REQUIRED.

	Page
Natural Hazard Reference Maps	i-ii
Natural Hazard Disclosure Statement	NHDS

In	Out	Not Mapped	Statutory Natural Hazard Disclosures	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Special Flood Hazard Area designated by the Federal Emergency Management Agency	1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Dam Inundation / Area of Potential Flooding	1
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Very High Fire Hazard Severity Zone	1
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Wildland Area That May Contain Substantial Forest Fire Risks And Hazards	1
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Earthquake Fault Zone	2
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Seismic Hazard - Landslide Zone	2
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Seismic Hazard - Liquefaction Zone	2

In	Out	Not Mapped	Local/Supplemental Natural Hazard Disclosures	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Supplemental Flood Hazard Zone	3
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Supplemental Fire Hazard Zone	3
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Supplemental Earthquake Fault Hazard Zone	4
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Supplemental Seismic/Geologic Hazard Zone	4

In	Out	Additional Disclosures	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Commercial/Industrial Zoning	5
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Airport Influence Area	5
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Airport Proximity	5
<input type="checkbox"/>	<input checked="" type="checkbox"/>	California Land Conservation (Williamson) Act	6
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Right to Farm	6
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mining Operations	7

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Yes	No	Tax Information	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mello-Roos Communities Facilities District Special Tax Liens – currently levied against the property	8
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Improvement Bond Act of 1915 Lien Assessments – currently levied against the property	9
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Property Assessed Clean Energy (PACE) Programs	9
		Tax Summary – annual taxes, liens and assessments currently included on the tax bill	10
		Property Tax Descriptions	11
		Supplemental Tax Estimator Worksheet	12
		Property Tax Estimator Worksheet	13

Yes	No	Environmental Information	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identified sites with known or potential environmental concerns	14
		Environmental Sites Map and details	15
		Databases Researched	24

Notices and Advisories

Transfer Fee Notice	28
Notice of “Supplemental” Property Tax Bill	28
Gas and Hazardous Liquid Transmission Pipelines Notice	29
Toxic Mold Notice	29
Flood Insurance Notice	29
Energy Efficiency Standards and Duct Sealing Requirements Notice	30
Water-Conserving Plumbing Fixture Notice	30
Solar Energy Systems Notice	30
Megan’s Law Notice	31
Methamphetamine or Fentanyl Contaminated Property Notice	31
Military Ordnance Location Notice	31
Mudslide / Debris Flow Advisory	31
Habitat Sensitivity Area/Endangered Species Advisory	32
Oil, Gas Wells & Methane Advisory	32
Naturally Occurring Asbestos Advisory	32
Radon Advisory	32
San Francisco Bay Conservation and Development Commission Jurisdiction	33
Bay Area Air Quality Management District Residential Fireplace Notice	33

Disclaimers - Read Carefully	34
-------------------------------------	-----------

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

STATUTORY NATURAL HAZARD DISCLOSURES

Disclosure Source reviews specific public records to determine whether the property is located in any of six statutorily defined natural hazard areas described below.

SPECIAL FLOOD HAZARD AREA

Pursuant to federal law, the Federal Emergency Management Agency (FEMA) is required to identify and designate areas that are subject to flooding as part of the National Flood Insurance Program. A "Special Flood Hazard Area" (any type Zone "A" or "V") as determined by FEMA is an area where all or a portion of the property has a 1% chance each year of being inundated by flood waters. If a property is located in a Special Flood Hazard Area, the cost and availability of flood insurance may be affected. Properties not located in a Special Flood Hazard Area are not relieved from the possibility of sustaining flood damage. A few areas are not covered by official Flood Insurance Rate Maps. If information is not available, Disclosure Source recommends that the buyer contact the local jurisdiction's planning and building department to determine the potential for flooding at the subject Property .

Source(s) of data: Title 42 United States Code Section 4101

Based on a review of the Flood Insurance Rate Map(s) issued by FEMA, the subject Property:

IS IS NOT located in a Special Flood Hazard Area Do not know and information not available

DAM INUNDATION / AREA OF POTENTIAL FLOODING

The State of California Office of Emergency Services is required to review, approve and maintain copies of the maps that have been prepared and submitted to them by local governmental organizations, utilities or other owners of any dam in the state. The maps delineate areas of potential inundation and flooding that could result from a sudden, partial or total dam failure. Dams in many parts of the world have failed during significant earthquakes, causing flooding of those areas in the pathway of the released water. The actual risk of dam failure is not defined by the map(s). Legislation also requires, appropriate public safety agencies of any city, county, or territory of which is located in such an area, to adopt/implement adequate emergency procedures for the evacuation and control of populated areas near/below such dams.

Source(s) of data: Government Code Section 8589.5.

Based on a review of the official map(s) available through the State of California, Office of Emergency Services, the subject Property:

IS IS NOT located in a Dam Inundation Zone Do not know and information not available

VERY HIGH FIRE HAZARD SEVERITY ZONE

The California Legislature has declared that space and structure defensibility is essential to diligent fire prevention. Further, the Director of Forestry and Fire Protection has identified areas in the state as Very High Fire Hazard Severity Zones based on consistent statewide criteria, and based on the severity of fire hazard that is expected to prevail in those areas. Determining information includes, but is not limited to: Fuel loading, terrain (slope), fire weather conditions and other relevant factors.

Source(s) of data: California Government Code Section 51178 and 51179

Based on a review of the official map(s) issued by the California Department of Forestry and Fire Protection, the subject Property:

IS IS NOT located in a Very High Fire Hazard Severity Zone

WILDLAND AREA THAT MAY CONTAIN SUBSTANTIAL FOREST FIRE RISKS AND HAZARDS / STATE FIRE RESPONSIBILITY AREA

The California Department of Forestry and Fire Protection designates State Fire Responsibility Areas (SRA) and bears the primary financial responsibility for the prevention and/or suppression of fires in these areas. A seller of real property located within a SRA must disclose the fact that there may be a forest fire risk and hazard on the property, and the fact that the property owner may be subject to the imposition of fire mitigation measures as set forth in Public Resources Code Section 4291. The degree of hazard is not indicated within the official SRA maps. It may range from Low to Very High. The State of California collects an annual "fire prevention fee" from these owners. The collected monies will go toward a fund that will finance fire prevention activities benefiting these owners. (Note: As of July 1, 2017 the Fire Prevention Fee has been suspended through the year 2031.) More information about this fee may be found at <https://www.fire.ca.gov/grants/fire-prevention-grants/state-responsibility-area-fire-prevention-fee>.

Source(s) of data: California Public Resources Code Section 4125

Based on a review of the official map(s) issued by the California Department of Forestry and Fire Protection, the subject Property:

IS IS NOT located in a State Fire Responsibility Area

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

ALQUIST-PRIOLO EARTHQUAKE FAULT ZONE

Earthquake Fault Zone maps are delineated and compiled by the California State Geologist pursuant to the Alquist-Priolo Earthquake Fault Zoning Act. During an earthquake, structures located directly over fault zones (surface fault traces) could sustain damage as a result of a seismic event resulting from ground fault rupture (surface cracking). For the purposes of this report, an Earthquake Fault Zone is generally defined as an area approximately 1/4 mile in total width (1,320 feet) located along a known active earthquake fault. An "active" fault as defined by the State of California, Department of Conservation, Division of Mines and Geology is an earthquake fault that has produced ground surface displacement (ground surface rupture) within the last eleven thousand years.

Source(s) of data: California Public Resources Code Section 2622

Based on a review of the official map(s) issued by the California Department of Conservation, Division of Mines and Geology, the subject Property:

IS IS NOT located in an Alquist-Priolo Fault Zone

SEISMIC HAZARD ZONE

The intent of the Seismic Hazards Mapping Act of 1990 is to provide for a statewide seismic hazard mapping and technical advisory program to assist cities and counties in fulfilling their responsibilities for protecting the public health and safety from the effects of strong ground shaking, liquefaction (failure of water-saturated soil), landslides and other seismic hazards caused by earthquakes. Under this act, The California Department of Conservation is mandated to identify and map the state's most prominent earthquake hazards. Information produced by these maps is utilized (in part) by cities and counties to regulate future development. Development/Construction permits may be withheld until adequate geologic or soils investigations are conducted for specific sites, and mitigation measures are incorporated into development plans.

Seismic Hazard Zone maps delineate areas subject to earthquake hazards. New development in a Seismic Hazard Zone is only permitted if it can be shown that mitigation makes the site acceptably safe. Maps are only available for limited areas now, but will eventually cover all of California.

Earthquake-Induced Landslide Hazard Zones are areas where there has been a recent landslide, or where the local slope, geological, geotechnical, and ground moisture conditions indicate a potential for landslides as a result of earthquake shaking. Landslides zones are described as areas in which masses of rock, soil or debris have been displaced down slope by flowing, sliding or falling. The severity of a landslide depends on the underlying geology, slope and soil in the area.

Liquefaction Hazard Zones are areas where there is a potential for, or an historic occurrence of liquefaction. Liquefaction is a liquid-like condition of soil which sometimes occurs during strong earthquake shaking where the groundwater is shallow and soils are loose and granular (sands for example). These factors can combine to produce liquefaction in localized areas. When liquefaction occurs the soil temporarily becomes liquid-like and structures may settle unevenly. This condition can cause lateral spreading of level ground, and ground failure and sliding on slopes. Liquefaction can cause structural damage under certain geologic conditions. The type of sedimentary deposit, penetration resistance, and depth to ground water are the key factors that govern an area's susceptibility to liquefaction.

Source(s) of data: California Public Resources Code Section 2696

Based on a review of the official map(s) issued by the California Department of Conservation, Division of Mines and Geology, the subject Property:

IS IS NOT located in a Landslide Hazard Zone Map not released by state

IS IS NOT located in a Liquefaction Hazard Zone Map not released by state

GOVERNMENTAL GUIDES: "HOMEOWNER'S [COMMERCIAL PROPERTY OWNER'S] GUIDE TO EARTHQUAKE SAFETY" PUBLISHED BY THE CALIFORNIA SEISMIC SAFETY COMMISSION CONTAINING IMPORTANT INFORMATION REGARDING EARTHQUAKE AND GEOLOGIC HAZARDS. THEY ARE AVAILABLE FOR DOWNLOAD AT [HTTPS://WWW.DISCLOSURESOURCE.COM/DOWNLOADS/QUAKE.ASPX](https://www.disclosuresource.com/downloads/quake.aspx)

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

LOCAL/SUPPLEMENTAL NATURAL HAZARD DISCLOSURES

Disclosure Source has obtained maps that are both official and publicly available from city, county, and state sources which supplement the statutory natural hazard information. The company has only reviewed maps that are available in a usable format and at an appropriate scale to delineate where hazards may exist on a single parcel basis. Disclosure Source recommends that the buyer contact the local building and planning departments to help ascertain what, if any, special requirements there might be for construction or renovation, and building code requirements for this property. The foregoing statement should be considered a part of the Disclaimers of this Disclosure Report and those Disclaimers apply to this Statement. Please refer to them for further information.

SUPPLEMENTAL FLOOD HAZARD ZONE

Supplemental flood zones include information in addition to, or different from, the areas mapped on Flood Insurance Rate Maps by the Federal Emergency Management Agency or Dam Inundation zones as reported by the California State Office of Emergency Services. These can include tsunamis, seiches (inland lake tsunamis), runoff hazards, historical flood data and additional dike failure hazards.

If a portion or all of the property is located within one of these hazard areas, the lending institution may require flood insurance. Disclosure Source recommends that the buyer: 1) contact the lending institution to ascertain any additional requirements for flood insurance, 2) contact the insurance company to ascertain the availability and cost of the flood insurance.

Based on the maps obtained, the subject Property:

IS IS NOT located in a supplemental Flood Hazard Zone Do not know OR information is not available

ADDITIONAL INFORMATION:

NONE

SUPPLEMENTAL FIRE HAZARD ZONE

Local agencies may, at their discretion, include or exclude certain areas from the requirements of California Government Code Section 51182 (imposition of fire prevention measures on property owners), following a finding supported by substantial evidence in the record that the requirements of Section 51182 either are, or are not adequate or necessary for effective fire protection within the area. Any additions to these maps that the company has been able to identify and substantiate are included in this search.

There may be maps of other substantial fire hazards such as brush fires that are not subject to Section 51182. Disclosure Source has included these maps in this search.

Fire hazard zones listed here, if any, are areas which contain the condition and type of topography, weather, vegetation and structure density to increase the susceptibility to fires. In these areas, the City or County may impose strategies to enforce fire mitigation measures, including fire or fuel breaks, brush clearance, and fuel load management measures. For example, emphasis on roof type and fire-resistive materials may be necessary for new construction or roof replacement. In addition, other fire defense improvements may be demanded, including special weed abatement, brush management, and minimum clearance around structures. In most cases, if a property is in a Fire Hazard Area, insurance rates may be affected.

Based on the maps obtained, the subject Property:

IS IS NOT located in a supplemental Fire Hazard Zone Do not know OR information is not available

ADDITIONAL INFORMATION:

NONE



California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505
Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

SUPPLEMENTAL EARTHQUAKE FAULT HAZARD ZONE

Many local jurisdictions have different or higher standards than the State for the identification of earthquake faults. Those jurisdictions have created their own maps which indicate active or potentially active faults according to those standards.

Many cities and counties require geologic studies before any significant construction if a property is in or near an earthquake fault zone known to them and certain types of construction may be restricted in these areas. Disclosure Source has included official and publicly available maps indicating earthquake faults known by those jurisdictions. In some cases the company has used the description of an Earthquake Fault Zone established by the Alquist -Priolo Earthquake Fault Zone Act of approximately 1,320 feet wide to define a supplemental Fault Hazard Zone.

Based on the maps obtained, the subject Property:

IS IS NOT located in a supplemental Fault Hazard Zone Do not know OR information is not available

ADDITIONAL INFORMATION:

NONE

SUPPLEMENTAL SEISMIC/GEOLOGIC HAZARD ZONE

The California Division of Mines and Geology (DMG) has not completed the project assigned by Section 2696 of the California Public Resources Code to identify areas of potential seismic hazard within the State of California. The DMG and the US Geologic Survey (USGS) have performed many valuable studies that supplement the Section 2696 maps and fill in many missing areas. These maps are included in this search. Also included in this search are maps that indicate many hazards that may or may not be seismically related, including, but not limited to, liquefaction, landslides, debris flows, mudslides, coastal cliff instability, volcanic hazards and avalanches. A number of various geologic factors may influence the types of geologic hazards present: rainfall amounts, removal of vegetation, erosion, seismic activity, or even human activity. The severity of a geologic hazard depends on the underlying geology, slope, proximity to earthquake faults, and soil type in the area. Many cities and counties require geologic studies before any significant construction if a property is in or near a geologic hazard known to them and certain types of construction may be prohibited.

Based on the maps obtained, the subject Property:

IS IS NOT located in a supplemental Geologic Hazard Zone Do not know OR information is not available

ADDITIONAL INFORMATION:

In an area of HIGH potential for Liquefaction.

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

ADDITIONAL DISCLOSURES

COMMERCIAL / INDUSTRIAL ZONING

Pursuant to California Civil Code Section §1102.17, the seller of residential real property subject to this article who has actual knowledge that the property is adjacent to, or zoned to allow, an industrial use described in Section 731a of the Code of Civil Procedure, or affected by a nuisance created by such a use, shall give written notice of that knowledge as soon as practicable before transfer of title.

"Whenever any city, city and county, or county shall have established zones or districts under authority of law wherein certain manufacturing or commercial or airport uses are expressly permitted, except in an action to abate a public nuisance brought in the name of the people of the State of California, no person or persons, firm or corporation shall be enjoined or restrained by the injunctive process from the reasonable and necessary operation in any such industrial or commercial zone or airport of any use expressly permitted therein, nor shall such use be deemed a nuisance without evidence of the employment of unnecessary and injurious methods of operation. Nothing in this act shall be deemed to apply to the regulation and working hours of canneries, fertilizing plants, refineries and other similar establishments whose operation produce offensive odors ." California Code of Civil Procedure Section §731a.

Based on the county tax assessment rolls, the subject Property:

IS IS NOT located within one mile of a property zoned for commercial or industrial use.

AIRPORT INFLUENCE AREA

Section 1103.4 of the California Civil Code requires notice if a property is encompassed within an airport influence area. According to Section 11010 of the Business and Professions Code, an airport influence area is defined as "an area in which current or future airport related noise, overflight, safety or airspace protection factors may significantly affect land uses or necessitate restrictions on those uses." Disclosure Source has utilized publicly available airport influence area maps from county Airport Land Use Commissions (ALUC). Airport influence area maps can be found within a county Airport Land Use Comprehensive Plan, available to the public through most county planning departments. Some airports have not published influence area maps and the property may still be subject to some of the annoyances or inconveniences associated with proximity to airport operations. Airports physically located outside California were not included in this report.

According to airport influence maps available, the subject Property:

IS IS NOT located in a mapped airport influence area.

If the subject property is located in an airport influence area, the following statement applies - NOTICE OF AIRPORT IN VICINITY This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.

AIRPORT PROXIMITY

California Civil Code §1102.17 states: "The seller of residential real property subject to this article who has actual knowledge that the property is adjacent to, or zoned to allow, an industrial use described in Section 731a of the Code of Civil Procedure, or affected by a nuisance created by such a use, shall give written notice of that knowledge as soon as practicable before transfer of title." Industrial use identified in Section 731a includes but is not limited to airport uses. Aircraft landing facilities listed herein, if any, consists of those owned by the United States Federal Government (Military aviation), public and privately owned civil and commercial aviation facilities; except private landing facilities (restricted public access), glider ports, and facilities that have not been assigned a current location identifier by the Federal Aviation Administration (FAA). Airports physically located outside California were not included in this report.

According to information available from the FAA the company reports the following aircraft landing facilities within two miles of the subject Property. The calculated distance can be dependent upon the size of the airport influence area, if any.

FAA ID#	FACILITY NAME	TYPE	DISTANCE
NONE			

For further information regarding any of the public aircraft landing facilities identified in this report, please contact the following agency:

Western Pacific Region Airports Division, 15000 Aviation Blvd, #3012, Lawndale, CA 90261, (310) 725-3600

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

CALIFORNIA LAND CONSERVATION (WILLIAMSON) ACT

The purpose of the California Land Conservation Act of 1965 (Williamson Act) is to allow local governments and private landowners to enter voluntarily into contracts to restrict the use of parcels of land of no less than 100 acres to agricultural and open space use. The landowner receives compensation for the land use restrictions in the form of reduced property tax assessments which are much lower than normal because they are based upon farming and open space uses as opposed to full market value.

A Williamson Act contract is initially for a minimum term of ten years but local jurisdictions have the option to increase the initial term up to twenty years. Williamson Act contracts run with the land and are binding on all subsequent landowners. The contract is automatically extended by one year after the tenth and subsequent years unless a request for non-renewal is filed by either party. A request for non-renewal begins a 9 year term during which the tax assessments gradually increase to the full fair market value at which time the contract is terminated. The use of the property will then be controlled by the local jurisdiction's use and zoning laws.

Williamson Act contracts can be canceled only by the landowner's petition; however the minimum penalty for canceling a contract is 12.5 percent of the unrestricted, fair market value of the property. To approve a tentative contract cancellation, a county or city must make specific findings that are supported by substantial evidence. The existence of an opportunity for another use of the property or the uneconomic character of an existing agricultural use shall not, by itself, be a sufficient reason to cancel a contract.

There are penalties for breach of a contract, caused by the owner intentionally using the land for other than agriculture or making the land unusable for the contracted purposes. The penalties for breach of contract are as much as 25% of the unrestricted fair market value of the land rendered incompatible, plus 25% of the value of any building and any related improvements on the contracted land that cause the breach of contract. If a local jurisdiction allows a contract to be canceled and the State determines that there is a breach of contract, the penalties may be reduced, but not to less than 12.5% of the value of the land.

Contact the planning department to obtain information on requirements for entering into a Williamson Act contract and the uses allowed. Local government uniform rules and the specific Williamson Act contract can be more restrictive than the Williamson Act Government Code provisions.

For more information contact the Department of Conservation, Division of Land Resource Protection at 916-324-0850 or visit its website <https://www.conservation.ca.gov/dlrp/lca>. The county assessor's office also maintains information on parcels affected by the Williamson Act.

According to available maps from The California Department of Conservation, the subject Property:

IS IS NOT in a Williamson Act Zone as depicted on the map.

RIGHT TO FARM

California Civil Code section 1103.4 requires notice if a property is presently located within one mile of a parcel of real property designated as "Prime Farmland," "Farmland of Statewide Importance," "Unique Farmland," "Farmland of Local Importance," or "Grazing Land" on the most current county-level GIS "Important Farmland Map" issued by the California Department of Conservation, Division of Land Resource Protection, and if so, accompanied by the following notice:

NOTICE OF RIGHT TO FARM This property is located within one mile of a farm or ranch land designated on the current county-level GIS "Important Farmland Map," issued by the California Department of Conservation, Division of Land Resource Protection. Accordingly, the property may be subject to inconveniences or discomforts resulting from agricultural operations that are a normal and necessary aspect of living in a community with a strong rural character and a healthy agricultural sector. Customary agricultural practices in farm operations may include, but are not limited to, noise, odors, dust, light, insects, the operation of pumps and machinery, the storage and disposal of manure, bee pollination, and the ground or aerial application of fertilizers, pesticides, and herbicides. These agricultural practices may occur at any time during the 24-hour day. Individual sensitivities to those practices can vary from person to person. You may wish to consider the impacts of such agricultural practices before you complete your purchase. Please be advised that you may be barred from obtaining legal remedies against agricultural practices conducted in a manner consistent with proper and accepted customs and standards pursuant to Section 3482.5 of the Civil Code or any pertinent local ordinance.

According to the current county-level GIS "Important Farmland Map," issued by the California Department of Conservation, Division of Land Resource Protection, the subject Property:

IS IS NOT located within one mile of a farm or ranch land.

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

MINING OPERATIONS

The California Department of Conservation, Office of Mine Reclamation, maintains a database of map coordinate data submitted annually by mine operators in the State. Section 1103.4 of the California Civil Code requires notice if a property is within one mile of a mine operation for which the mine owner or operator has reported map coordinate data to the Office of Mine Reclamation, pursuant to Section 2207 of the Public Resources Code. (Note: Not all mine operators have provided map coordinate data to the Office of Mine Reclamation)

According to the database maintained by the California Department of Conservation, Office of Mine Reclamation, the subject Property:

IS IS NOT located within one mile of a mine operation.

If the subject Property is within one mile of a mine, the following statement applies - NOTICE OF MINING OPERATIONS:

This property is located within one mile of a mine operation for which the mine owner or operator has reported mine location data to the Department of Conservation pursuant to Section 2207 of the Public Resources Code. Accordingly, the property may be subject to inconveniences resulting from mining operations. You may wish to consider the impacts of these practices before you complete your transaction .

In addition to active mines, California's landscape contains tens of thousands of abandoned mine sites. Many of these mines were immediately abandoned when insufficient minerals were found or when poor economics of the commodity made mining unprofitable. It is estimated that the majority of abandoned mines possess serious physical safety hazards, such as open shafts or adits (mine tunnel), while many others pose environmental hazards. Thousands of sites have the potential to contaminate surface water, groundwater, or air quality. Some are such massive problems as to earn a spot on the Federal Superfund list.

In the interest of environmental and public health and safety, the Department of Conservation (DOC) undertook a three-year effort to determine "the magnitude and scope of the abandoned mine problem in California." An inventory of abandoned mines was accomplished, culminating in a report to the Governor and Legislature. Prior to that effort, the number of abandoned mines reported was based solely on legacy databases and ranged from a low of 7,000 to a high of 20,000 abandoned mines. The DOC shows there are more than 47,000 abandoned mines statewide.

The reports, maps, and additional information on abandoned mines are available at the California Department of Conservation, Office of Mine Reclamation https://www.conservation.ca.gov/dmr/abandoned_mine_lands. The State of California, Department of Conservation makes no warranty, express or implied, as to the accuracy of these data or the suitability of the data for any particular use. Distribution of these data is intended for informational purposes and should not be considered authoritative or relied upon for navigation, engineering, legal, or other site-specific uses, including but not limited to the obligations of sellers of real property and their disclosure obligations under California law.

Parties with concerns about the existence or impact of abandoned mines in the vicinity of the property should contact the State Office of Mine Reclamation at: <https://www.conservation.ca.gov/DMR> and/or the local Engineering, Planning or Building Departments in the county where the property is located.

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

TAX INFORMATION

NOTICE OF SPECIAL TAX AND ASSESSMENT

TO THE PROSPECTIVE PURCHASER OF THE REAL PROPERTY SHOWN ABOVE. THIS IS A NOTIFICATION TO YOU PRIOR TO YOUR PURCHASING THIS PROPERTY. YOU SHOULD TAKE THESE TAXES AND ASSESSMENTS, IF ANY, AND THE BENEFITS FROM THE PUBLIC FACILITIES AND SERVICES FOR WHICH THEY PAY INTO ACCOUNT IN DECIDING WHETHER TO BUY THIS PROPERTY. YOU MAY OBTAIN A COPY OF THE RESOLUTION OF FORMATION THAT AUTHORIZED CREATION OF THE COMMUNITY FACILITIES DISTRICT, AND THAT SPECIFIES MORE PRECISELY HOW THE SPECIAL TAX AND ASSESSMENTS ARE APPORTIONED AMONG PROPERTIES IN THE ASSESSEMENT DISTRICT AND HOW THE PROCEEDS OF THE TAX WILL BE USED, BY CALLING THE CONTACT NAME AND NUMBER LISTED BELOW. THERE MAY BE A CHARGE FOR THIS DOCUMENT NOT TO EXCEED THE ESTIMATED REASONABLE COST OF PROVIDING THE DOCUMENT. YOU MAY TERMINATE THE CONTRACT TO PURCHASE OR DEPOSIT RECEIPT AFTER RECEIVING THIS NOTICE FROM THE OWNER OR AGENT SELLING THE PROPERTY. THE CONTRACT MAY BE TERMINATED WITHIN THREE DAYS IF THE NOTICE WAS RECEIVED IN PERSON OR WITHIN FIVE DAYS AFTER IT WAS DEPOSITED IN THE MAIL BY GIVING WRITTEN NOTICE OF THAT TERMINATION TO THE OWNER OR AGENT SELLING THE PROPERTY.

If Mello-Roos Community Facilities Special Tax Liens or Improvement Bond Act of 1915 Lien Assessments are not paid on time, the issuer has the right to initiate foreclosure proceedings on the property and it may be sold to satisfy the obligation. By statute, the special tax lien is made superior in priority to private liens such as mortgages and deeds of trust, even if the aforementioned preceded the creation of the assessment. Unlike property tax sales initiated by a County Tax Collector (which require a five year waiting period) special tax lien foreclosure may be initiated quickly if payments become delinquent. This can occur as soon as a few months after a property tax bill becomes delinquent.

The annual assessment installment against this property as shown on the tax bill for the 2019-2020 tax year is listed below. Assessment installments will be collected each year until the assessment bonds are repaid. The authorized facilities that are being paid for by the special taxes, and by the money received from the sale of bonds that are being repaid by the special taxes are summarized below. These facilities may not yet have all been constructed or acquired and it is possible that some may never be constructed or acquired.

Mello-Roos Community Facilities Districts

Mello-Roos Community Facilities Districts ("CFD") provide a method of financing certain public capital facilities and services especially in developing areas and areas undergoing rehabilitation. Public improvements and services funded by Mello-Roos districts may include, but are not limited to police and fire protection services, roads, new school construction, backbone infrastructure improvements, new or expanded water and sewer systems, recreation program services and flood or storm protection services. When construction of facilities is involved, in most cases, the money required to provide initial funding for the improvements is obtained through the issuance of municipal bonds. A special tax lien is placed on each property within the district for the annual payment of principal and interest as well as administrative expenses. The annual special tax continues until the bond is paid, or until revenues are no longer needed. Mello-Roos tax amounts may vary (increase), or the term of the payments may be extended, especially if additional bonds are issued. These special taxes are usually collected with regular property tax installments.

If this property is subject to the Mello-Roos CFD(s) lien(s) listed below, it is subject to a special tax that will appear on your property tax bill that is in addition to the regular property taxes and any other charges and benefit assessments on the parcel. This special tax is not necessarily imposed on all parcels within the city or county where the property is located. If you fail to pay this tax when due each year, the property may be foreclosed upon and sold. The tax is used to provide public facilities and/or services that are likely to particularly benefit the property.

There is a maximum special tax that may be levied against this parcel each year to pay for public facilities. This amount may be subject to increase each year based on the special tax escalator listed below (if applicable). The annual tax charged in any given year may not exceed the maximum tax amount. However, the maximum tax may increase if the property use changes, or if the home or structure size is enlarged. The special tax will be levied each year until all of the authorized facilities are built and all special tax bonds are repaid. If additional bonds are issued, the estimated end date of the special tax may be extended.

THIS PROPERTY IS NOT CURRENTLY SUBJECT TO MELLO-ROOS COMMUNITY FACILITIES SPECIAL TAX LIEN(S).

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Improvement Bond Act of 1915 Assessments Districts

Improvement Bond Act of 1915 Assessments Districts provide a method of financing certain public capital improvements and infrastructures including, but not limited to, roads, sewer, water and storm drain systems, and street lighting. The money required to fund the improvement is obtained in advance through the issuance of municipal bonds pursuant to the Improvement Bond Act of 1915. A special assessment lien is placed on the property within the Assessment District. The lien amount is calculated according to the specific benefit that an individual property receives from the improvement(s) and is amortized over a period of years. Improvement Bond Act of 1915 Lien Assessments can be prepaid at any time. In most instances but not all, the assessment is placed on the secured tax roll and is collected with your annual county real property taxes.

If this property is subject to the Improvement Bond Act of 1915 Lien Assessment(s) listed below, the lien(s) will be repaid from annual assessment installments levied by the assessment district that will appear on the property tax bill, but which are in addition to the regular property taxes and any other charges and levies that will be listed on the property tax bills. Each assessment district has issued bonds to finance the acquisition or construction of certain public improvements that are of direct and special benefit to property within that assessment district.

THIS PROPERTY IS NOT CURRENTLY SUBJECT TO IMPROVEMENT BOND ACT OF 1915 LIEN ASSESSMENT(S).

Property Assessed Clean Energy (PACE) Programs

California legislature enables local governments to help property owners finance the acquisition, installation, and improvement of energy efficiency, water conservation, wildfire safety improvements as defined in Section 5899.4 of the Streets and Highways Code, and renewable energy projects through PACE programs. Owners of residential and commercial properties within a PACE participating district can finance 100% of their project and pay it back over time as a property tax assessment through their property tax bill, which is delivered and collected by the County. The tax bill will have a line item titled with the name of the PACE program. Payments on the assessment contract will be made through an additional annual assessment on the property and paid either directly to the county tax collector's office as part of the total annual secured property tax bill, or through the property owner's mortgage impound account. If the property owner pays his or her taxes through an impound account he or she should notify their mortgage lender to discuss adjusting his or her monthly mortgage payment by the estimated monthly cost of the PACE assessment. Under the PACE programs, if the property is sold before the PACE financing is paid in full, the remaining payments may be passed on to the new property owner. However, a lender may require the property owner to pay off the remaining balance when the property is sold or refinanced. The remaining debt may affect the amount a new buyer can borrow when financing the property purchase. It is the responsibility of the property owner to contact the property owner's home insurance provider to determine whether the efficiency improvement to be financed by the PACE assessment is covered by the property owner's insurance plan. For more information on the PACE financing programs, go to : <https://pacenation.us/pace-programs/#California>

THIS PROPERTY IS NOT PARTICIPATING IN A PACE PROGRAM

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

TAX SUMMARY

ANNUAL TAXES, LIENS, AND ASSESSMENTS CURRENTLY LEVIED AGAINST THE PROPERTY AND INCLUDED ON THE TAX BILL

Basic Property Taxes:

Agency / Contact	District / Benefit	Levy Amount
County of Contra Costa	Basic 1% Levy	\$1984.01
County of Contra Costa (925) 335-1080	General	

Voter Approved Taxes:

Agency / Contact	District / Benefit	Levy Amount
County of Contra Costa	Ad Valorem Taxes	\$829.51
County of Contra Costa (925) 335-1080	Ad Valorem Taxes	

Mello-Roos Community Facilities Special Tax Lien(s):

NONE

Improvement Bond Act of 1915 Lien Assessment(s):

NONE

Other Direct Assessments:

Agency / Contact	District / Benefit	Levy Amount
City of Richmond	Sewer Service Levy	\$2828.00
City of Richmond (510) 620-6512	Sewer	
West Contra Costa Unified School District	Landscape Maintenance District	\$288.00
West Contra Costa Unified School District (510) 231-1100	Landscape & Lighting	
West Contra Costa Unified School District	School District Special Tax	\$198.72
West Contra Costa Unified School District (510) 231-1100	School Facilities	
City of Richmond	Storm Drainage Levy	\$128.00
City of Richmond (510) 620-6512	Storm Drainage	
West Contra Costa Healthcare District	Parcel Tax	\$104.00
West Contra Costa Healthcare District (510) 243-9591	Health	
Alameda-Contra Costa Transit District	Alameda-Contra Costa Parcel Tax	\$96.00
Alameda-Contra Costa Transit District (510) 891-4753	Transportation	
County of Contra Costa	Emergency Medical Services 1 Zone B	\$40.00
County of Contra Costa (925) 335-1080	Emergency Medical	
East Bay Regional Park District	Zone 1 Park Maintenance	\$33.12
East Bay Regional Park District (510) 562-7275	Landscaping & Lighting	
San Francisco Bay Restoration Authority	Special Parcel Tax	\$12.00
San Francisco Bay Restoration Authority (510) 286-7193	Wetlands Restoration	
East Bay Regional Park District	East Bay Trails Landscape and Lighting District	\$10.88
East Bay Regional Park District (510) 562-7275	Landscape and Lighting	
County of Contra Costa	Mosquito Abatement	\$4.82
County of Contra Costa (925) 335-1080	Mosquito Abatement	

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

PROPERTY TAX DESCRIPTIONS

Basic Property Taxes

The Basic Levy is the primary property tax charge levied by the County on behalf of government agencies. As a result of the passage of Proposition 13 in 1978 (Article XIII A of the California State Constitution), the basic levy is limited to one percent (1%) of the property's net assessed value. Proceeds from this tax are divided by the County and used to help fund nearly every function the state, county, city and other local municipal agencies provide. All other charges that appear on the tax bill vary by district and county.

Voter Approved Taxes

Voter Approved Debt are taxes levied on a parcel that is calculated based on the assessed value of the parcel. Taxes may include those taxes that were approved by voters before the passage of Proposition 13 in 1978, General Obligation Bonds or Special Taxes that are based on assessed value as opposed to some other method. Taxes that were established before 1978 may be used for various services and improvements and may or may not be associated with public indebtedness (the issuance of municipal bonds). A General Obligation Bond is a municipal bond that may be issued by a city, county or school district in order to finance the acquisition and construction of public capital facilities and real property. Equipment purchases and the cost of operation and maintenance cannot be financed with a General Obligation Bond. Special Taxes are created pursuant to various California Code Sections and require 2/3 majority approval of the qualified voters for approval. A special tax may be formed by a local government (a city, county, special district, etc) in order to finance specific facilities and/or services and cannot be used for general purposes.

Other Direct Assessments

In addition to the items discussed in the previous sections, real property may be subject to Other Direct Assessments. These assessments may appear on the annual property tax bill. Increases or modifications to these assessments are subject to public notice/hearing requirements (as governed by law) and require a vote by the legal property owners or the registered voters in the area. Additional information is available by contacting the agency actually levying the assessment.

Future Taxes

There may be possible future taxes not listed in this report. Future taxes are Bond Initiatives and Levies which have been approved by qualified voters in an authorized election, but have not yet been levied on the tax bills. Due to the fact that they have not yet appeared on any tax bills, these taxes are not shown on this report.

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

SUPPLEMENTAL TAX ESTIMATOR

This worksheet is provided for you as a convenience to allow you to **estimate** the potential supplemental property tax amount on a given property and whether you will receive one or two Supplemental Tax Bills. Depending on the date your escrow closes you will receive either one or two Supplemental Tax Bills which are in addition to your regular annual secured property taxes and must be paid separately. **Supplemental Tax Bills are not paid in escrow and are not impounded by your mortgage lender.** This worksheet is an estimate and is for your planning purposes only. This Supplemental Tax amount estimate is based on the 2019-2020 secured roll valuation and does not take into account other transactions that may have occurred and will impact the future assessed value.

Adobe Reader is suggested for interactive features

Supplemental Tax Estimator		
	Input the Purchase Price of the Property	
-	Current Assessed Value	\$ 198,401.00
=	Taxable Supplemental Assessed Value	
X	Tax Rate	1.418%
=	Estimated Full-Year Supplemental Tax Amount	

Jan - May Close of Escrow - Complete This Section

	Computation Factor for Month of Close (See Table Below)	
X	Estimated Full-Year Supplemental Tax Amount (Computed Above)	
=	Supplemental Tax Bill #1 Amount	
+	Supplemental Tax Bill #2 Amount = Estimated Full-Year Supplemental Tax Amount	
=	Estimated Supplemental Tax Amount	

Jun - Dec Close of Escrow - Complete This Section

	Computation Factor for Month of Close (See Table Below)	
X	Estimated Full-Year Supplemental Tax Amount (Computed Above)	
=	Supplemental Tax Bill Amount	

Computation Factors

Month	Factor	Month	Factor
January	0.4167	July	0.9167
February	0.3333	August	0.8333
March	0.2500	September	0.7500
April	0.1667	October	0.6667
May	0.0833	November	0.5833
June	1.0000	December	0.5000

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

PROPERTY TAX ESTIMATOR

The total tax charges listed on the previous pages provide an accurate portrayal of what the property tax charges were for the 2019-2020 tax year at the current assessed value. California law requires the Assessor re -calculate or re-assess the value of real property when it is sold, subdivided or upon the completion of new construction. In coming years, the Ad Valorem (or value based) property tax charges will be assessed based on this new assessed value. It is possible to calculate an **estimate** of what those charges will be using the property tax estimator provided below:

Adobe Reader is suggested for interactive features

Property Tax Estimator

	Purchase Price of Property	
X	Ad Valorem Tax Rate	1.418%
=	Ad Valorem Tax Amount	
+	Total Direct Assessments	\$ 3,743.54
=	Total Estimated Taxes	

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

ENVIRONMENTAL INFORMATION

IDENTIFIED SITES WITH KNOWN OR POTENTIAL ENVIRONMENTAL CONCERNS

The "Environmental Sites Summary" is divided into three categories: A, B, and C.

Category A: Sites listed with known environmental concerns/contamination. The locations of these sites are researched within a one (1) mile radius of the subject property.

Category B: Sites possessing the potential to release hazardous substances into the environment. These facilities are permitted to generate, treat, store, or dispose of hazardous substances. Locations of these sites are researched within a one-half (1/2) mile radius of the subject property.

Category C: Sites that have Underground Storage Tanks (UST) registered with the appropriate agencies. The locations of these sites are researched within one-eighth (1/8) mile radius of the subject property.

ENVIRONMENTAL SITES SUMMARY

Up to 1/8 Mile

1/8 to 1/2 Mile

1/2 to 1 Mile

CATEGORY A: SITES WITH KNOWN ENVIRONMENTAL CONCERNS

 U.S. EPA National Priority / Superfund List (NPL)	0	1	2
 Hazardous Waste Sites with Corrective Action (CORRACTS)	0	0	3
 State Priority List (SPL)	0	7	32

CATEGORY B: SITES WITH POTENTIAL ENVIRONMENTAL CONCERNS

 Treatment, Storage, Disposal and Generators (TSDG)	0	18	
 Comprehensive Environmental Response, Compensation, and Liability Information System (CERCLIS)	0	0	
 No Further Remedial Action Planned (NFRAP)	0	1	
 Leaking Underground Storage Tanks (LUST)	1	5	
 Solid Waste Landfills, Tire Disposal Centers, or Transfer Stations (SWLF)	0	0	

CATEGORY C: SITES WITH REGISTERED UNDERGROUND STORAGE TANKS

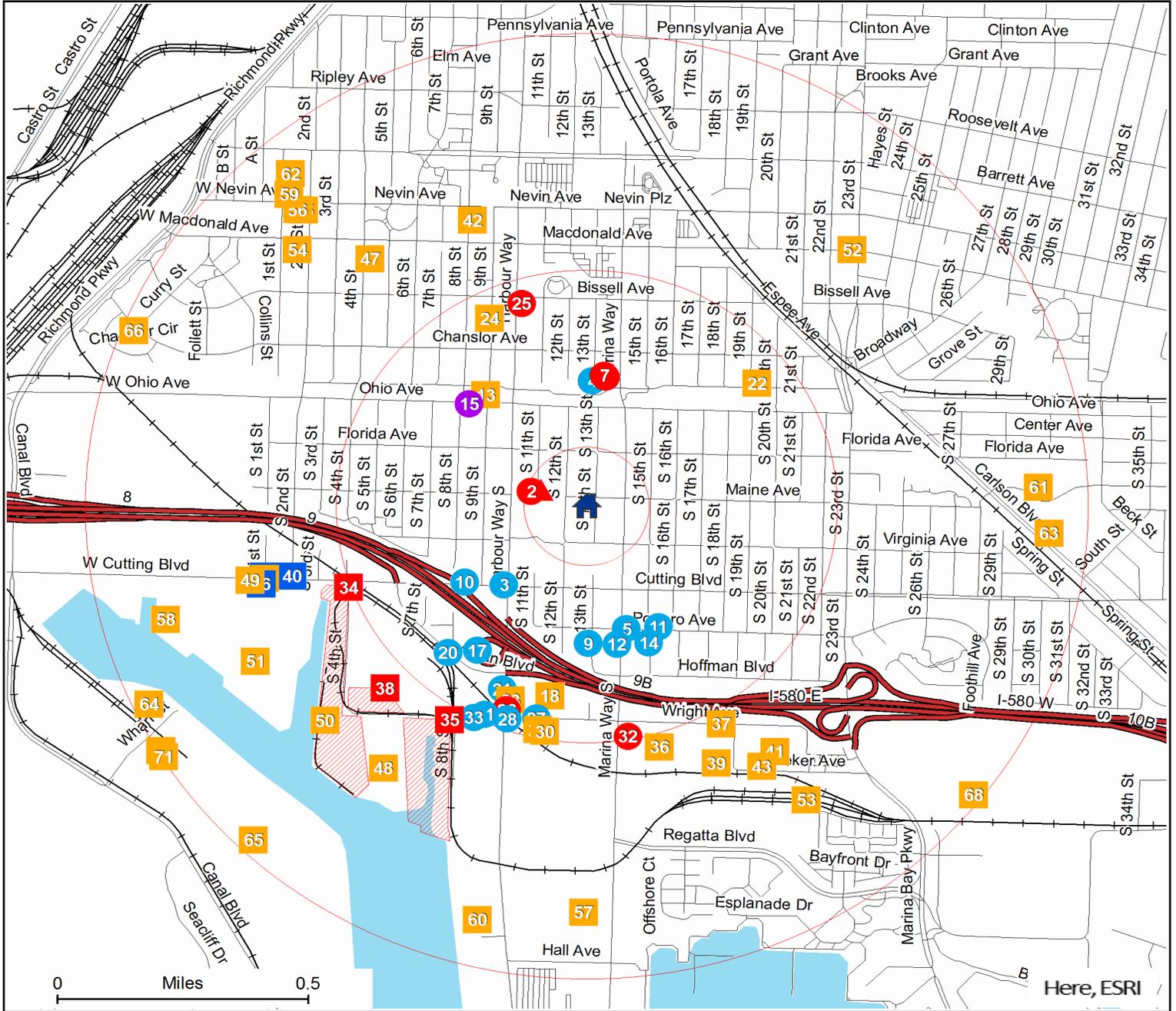
 Registered Underground Storage tank(s) (UST)	1		
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California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505
Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Environmental Sites



Category A: Sites with Known Environmental Concerns

Category B: Sites with Potential Environmental Concerns

Category C: Sites with Registered Underground Storage Tanks

- NPL
- CORRACTS
- SPL
- TSDG
- CERCLIS
- NFRAP
- LUST
- SWLF
- UST

This map is for your aid in locating environmental hazard sites in relation to the subject property described above. Please verify street address and /or assessors' parcel number for accuracy. The map is intended for informational purposes only. The company assumes no liability (expressed or implied) for any loss occurring by reference, misinterpretation, misuse, or sole reliance thereon. Most sites are depicted by a point representing their approximate address location and make no attempt to represent the actual areas of the associated site. Some NPL sites are depicted by polygons approximating their location and size. The boundaries of the polygons may be different than the actual areas of these sites and may include contaminated areas outside of the listed site. A property may be affected by contamination or environmental hazards that have not been identified on any of the databases researched for this report.

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Category A: SITES WITH KNOWN ENVIRONMENTAL CONCERNS

Refer to the pages following the site records for contact information and status definitions.

NATIONAL PRIORITY LIST / SUPERFUND SITES (NPL)

Record ID#	34	Distance/Direction:	0.5 miles W
Site Name:	UNITED HECKATHORN CO.		
Address:	8TH & WRIGHT RICHMOND, CA 94804		
Status:	FINAL		
Record ID#	35	Distance/Direction:	0.53 miles SW
Site Name:	UNITED HECKATHORN CO.		
Address:	8TH & WRIGHT RICHMOND, CA 94804		
Status:	FINAL		
Record ID#	38	Distance/Direction:	0.56 miles SW
Site Name:	UNITED HECKATHORN CO.		
Address:	8TH & WRIGHT RICHMOND, CA 94804		
Status:	FINAL		

HAZARDOUS WASTE SITES WITH CORRECTIVE ACTION (CORRACTS)

Record ID#	40	Distance/Direction:	0.6 miles W
Site Name:	IMTT-RICHMOND-CA		
Address:	100 CUTTING BLVD RICHMOND, CA 94804		
Status:	CORRECTIVE ACTION REQUIRED		
Record ID#	44	Distance/Direction:	0.66 miles W
Site Name:	IMTT-RICHMOND-CA		
Address:	100 CUTTING BLVD RICHMOND, CA 94804		
Status:	CORRECTIVE ACTION REQUIRED		
Record ID#	46	Distance/Direction:	0.67 miles W
Site Name:	IMTT-RICHMOND-CA		
Address:	100 CUTTING BLVD RICHMOND, CA 94804		
Status:	CORRECTIVE ACTION REQUIRED		

STATE PRIORITY LIST SITES (SPL)

Record ID#	13	Distance/Direction:	0.31 miles NW
Site Name:	909 OHIO AVENUE		
Address:	909 OHIO AVENUE RICHMOND, CA 94804		
Status:	NO FURTHER ACTION		
Record ID#	18	Distance/Direction:	0.41 miles S
Site Name:	K L D CO.		
Address:	1132 HOFFMAN RICHMOND, CA 94804		
Status:	REFER: OTHER AGENCY		
Record ID#	22	Distance/Direction:	0.43 miles NE
Site Name:	SHADELIGHT MARQUEE CO. OF CALIFORNIA		
Address:	2 19TH AVENUE RICHMOND, CA 94801		
Status:	REFER: OTHER AGENCY		

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Record ID#	23	Distance/Direction:	0.44 miles S
Site Name:	HARBOUR WAY SOUTH		
Address:	738 HARBOUR WAY SOUTH RICHMOND, CA 94804		
Status:	ACTIVE		
Record ID#	24	Distance/Direction:	0.44 miles NW
Site Name:	GOMPERS HIGH SCHOOL		
Address:	157 9TH STREET RICHMOND, CA 94801		
Status:	CERTIFIED		
Record ID#	29	Distance/Direction:	0.48 miles S
Site Name:	ARROW TRANSPORTATION CO., RICHMOND		
Address:	1030 WRIGHT AVENUE RICHMOND, CA 94804		
Status:	INACTIVE - NEEDS EVALUATION		
Record ID#	30	Distance/Direction:	0.48 miles S
Site Name:	ARROW TRANSPORTATION COMPANY		
Address:	1030 WRIGHT AVENUE RICHMOND, CA 94804		
Status:	REFER: RWQCB		
Record ID#	36	Distance/Direction:	0.53 miles S
Site Name:	NAVISTAR INTERNATIONAL TRANSPORTATION		
Address:	830 MARINA WAY SOUTH RICHMOND, CA 94804		
Status:	ACTIVE		
Record ID#	37	Distance/Direction:	0.53 miles SE
Site Name:	BIO-RAD LABS, INC.		
Address:	2200 WRIGHT AVE. RICHMOND, CA 94804		
Status:	REFER: RWQCB		
Record ID#	39	Distance/Direction:	0.6 miles SE
Site Name:	COAST COUNTIES ENG & MAINTENANCE CO INC		
Address:	867 SOUTH 19TH STREET RICHMOND, CA 94804		
Status:	REFER: RWQCB		
Record ID#	41	Distance/Direction:	0.64 miles SE
Site Name:	SUMMER DEL CARIBE, INC.		
Address:	2020 WRIGHT AVENUE RICHMOND, CA 94804		
Status:	CERTIFIED O&M - LAND USE RESTRICTIO		
Record ID#	42	Distance/Direction:	0.65 miles N
Site Name:	8TH STREET PROPERTY, #350		
Address:	350 8TH STREET RICHMOND, CA 94801		
Status:	REFER: OTHER AGENCY		
Record ID#	43	Distance/Direction:	0.65 miles SE
Site Name:	OFF-SITE SUMMER CHEMICAL/MEEKER AVENUE		
Address:	MEEKER AVENUE RICHMOND, CA 94804		
Status:	CERTIFIED		

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Record ID#	45	Distance/Direction:	0.66 miles W
Site Name:	IMTT-RICHMOND-CA		
Address:	100 CUTTING BLVD RICHMOND, CA 94804		
Status:	NO ACTION REQUIRED		
Record ID#	47	Distance/Direction:	0.68 miles NW
Site Name:	400 MACDONALD AVENUE		
Address:	4TH STREET NEAR MACDONALD AVENUE RICHMOND, CA 94801		
Status:	NO FURTHER ACTION		
Record ID#	48	Distance/Direction:	0.69 miles SW
Site Name:	BAYSIDE OIL CO		
Address:	488 WRIGHT RICHMOND, CA 94804		
Status:	REFER: RWQCB		
Record ID#	49	Distance/Direction:	0.69 miles W
Site Name:	IMTT-RICHMOND CA.		
Address:	100 CUTTING BOULEVARD RICHMOND, CA 94804		
Status:	REFER: OTHER AGENCY		
Record ID#	50	Distance/Direction:	0.69 miles SW
Site Name:	UNITED HECKATHORN		
Address:	8TH & WRIGHT RICHMOND, CA 94804		
Status:	ACTIVE		
Record ID#	51	Distance/Direction:	0.74 miles SW
Site Name:	TEXACO REFINING AND MARKETING INC.		
Address:	100 CUTTING BOULEVARD RICHMOND, CA 94806		
Status:	REFER: RWQCB		
Record ID#	52	Distance/Direction:	0.76 miles NE
Site Name:	PINOLE POINT STEEL CO.		
Address:	5000 GIANT ROAD (FORMER) RICHMOND, CA 94806		
Status:	INACTIVE - NEEDS EVALUATION		
Record ID#	53	Distance/Direction:	0.76 miles SE
Site Name:	KAISER PERMANANTE / CATELLUS CTR		
Address:	23RD STREET RAILYARD RICHMOND, CA 94804		
Status:	CERTIFIED / OPERATION & MAINTENANCE		
Record ID#	54	Distance/Direction:	0.79 miles NW
Site Name:	LILLIE MAE JONES PLAZA		
Address:	116 MACDONALD AVENUE RICHMOND, CA 94801		
Status:	CERTIFIED		
Record ID#	55	Distance/Direction:	0.84 miles NW
Site Name:	ELECTRO FORMING CO. - RICHMOND		
Address:	130 NEVIN AVENUE RICHMOND, CA 94801		
Status:	ACTIVE		

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Record ID#	56	Distance/Direction:	0.85 miles NW
Site Name:	FORMER RICHMOND SUBSTATION S		
Address:	NEVIN AVENUE, WEST OF 2ND STREET RICHMOND, CA 94801		
Status:	CERTIFIED		
Record ID#	57	Distance/Direction:	0.86 miles S
Site Name:	RICHMOND TANK DEPOT		
Address:	RICHMOND, CA 0		
Status:	NO FURTHER ACTION		
Record ID#	58	Distance/Direction:	0.87 miles W
Site Name:	BAY MARINE BOATWORKS		
Address:	310 WEST CUTTING BLVD RICHMOND, CA 94804		
Status:	CERTIFIED		
Record ID#	59	Distance/Direction:	0.89 miles NW
Site Name:	FORD CLOTHES CLEANERS		
Address:	105-111 NEVIN AVE RICHMOND, CA 94801		
Status:	INACTIVE - NEEDS EVALUATION		
Record ID#	60	Distance/Direction:	0.9 miles S
Site Name:	PORT OF RICHMOND (UNION CARBIDE)		
Address:	1215 HARBOUR WAY S RICHMOND, CA 94804		
Status:	CERTIFIED O&M - LAND USE RESTRICTIO		
Record ID#	61	Distance/Direction:	0.9 miles E
Site Name:	RICHMOND TOWNHOUSE APARTMENTS		
Address:	2887 AND 2989 PULLMAN AVENUE RICHMOND, CA 94804		
Status:	CERTIFIED / OPERATION & MAINTENANCE		
Record ID#	62	Distance/Direction:	0.92 miles NW
Site Name:	AMOT CONTROLS CORPORATION		
Address:	401 FIRST STREET RICHMOND, CA 94801		
Status:	ACTIVE		
Record ID#	63	Distance/Direction:	0.93 miles E
Site Name:	CARLSON PROPERTY		
Address:	APN 513-10-020 RICHMOND, CA 94804		
Status:	CERTIFIED		
Record ID#	64	Distance/Direction:	0.97 miles SW
Site Name:	BURMAH CASTROL, INC		
Address:	801 WHARF STREET RICHMOND, CA 94804		
Status:	CERTIFIED O&M - LAND USE RESTRICTIO		
Record ID#	65	Distance/Direction:	0.97 miles SW
Site Name:	GENERAL AMERICAN TRANSPORTATION CORP.		
Address:	1140 CANAL RICHMOND, CA 94804		
Status:	REFER: RWQCB		

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Record ID#	66	Distance/Direction:	0.98 miles W
Site Name:	LIBERTY VILLAGE APARTMENTS		
Address:	298 WEST CHANSLOR AVE RICHMOND, CA 94801		
Status:	CERTIFIED		
Record ID#	67	Distance/Direction:	0.99 miles SE
Site Name:	MARINA PENINSULA TOWNHOUSES		
Address:	MARINA PARKWAY & PENINSULA DRIVE RICHMOND, CA 94804		
Status:	NO FURTHER ACTION		
Record ID#	68	Distance/Direction:	0.99 miles SE
Site Name:	MARINA SOUTH SHORE		
Address:	MARINA BAY PARKWAY AND SEAGULL DRIVE RICHMOND, CA 94804		
Status:	NO FURTHER ACTION		
Record ID#	69	Distance/Direction:	0.99 miles SW
Site Name:	BRENNTAG PACIFIC INC		
Address:	860 WHARF ST RICHMOND, CA 94804		
Status:	REFER: RWQCB		
Record ID#	70	Distance/Direction:	0.99 miles SW
Site Name:	GREAT WESTERN CHEMICAL CO. - RICHMOND		
Address:	860 WHARF STREET RICHMOND, CA 94804		
Status:	INACTIVE - NEEDS EVALUATION		
Record ID#	71	Distance/Direction:	1 miles SW
Site Name:	GREAT WESTERN CHEMICAL CO		
Address:	860 WHARF ST. RICHMOND, CA 94804		
Status:	REFER: OTHER AGENCY		

Category B: SITES WITH POTENTIAL ENVIRONMENTAL CONCERNS

Refer to the pages following the site records for contact information and status definitions.

TREATMENT, STORAGE, DISPOSAL AND GENERATORS SITES (TSDG)

Record ID#	3	Distance/Direction:	0.23 miles SW
Site Name:	SHELL OIL CO		
Address:	1000 CUTTING BLVD/10TH STREET RICHMOND, CA 94804		
Record ID#	4	Distance/Direction:	0.27 miles N
Site Name:	CITY OF RICHMOND		
Address:	6 13TH ST RICHMOND, CA 94801		
Record ID#	5	Distance/Direction:	0.27 miles S
Site Name:	ATS PRODUCTS INC		
Address:	1430 POTRERO AVE RICHMOND, CA 94804		
Record ID#	8	Distance/Direction:	0.29 miles S
Site Name:	R R TRANSPORTATION		
Address:	631 SO 13TH RICHMOND, CA 94804		

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Record ID#	9	Distance/Direction:	0.29 miles S
Site Name:	JJS TANK LINES		
Address:	631 SO 13TH ST RICHMOND, CA 94804		
Record ID#	10	Distance/Direction:	0.29 miles SW
Site Name:	AIR GAS		
Address:	731 CUTTING BLVD POINT RICHMOND, CA 94804		
Record ID#	11	Distance/Direction:	0.29 miles SE
Site Name:	ATS PRODUCTS INC		
Address:	1430 POTRERO AVE RICHMOND, CA 94804		
Record ID#	12	Distance/Direction:	0.3 miles S
Site Name:	ROBERT J MILLER CO INC		
Address:	631 MARINA WAY SOUTH RICHMOND, CA 94804		
Record ID#	14	Distance/Direction:	0.31 miles SE
Site Name:	ROBERT J MILLER CO INC		
Address:	631 MARINA WAY SOUTH RICHMOND, CA 94804		
Record ID#	16	Distance/Direction:	0.37 miles SW
Site Name:	SIERRA ALLIED CONTRACTORS INC		
Address:	601 SOUTH 8TH STREET RICHMOND, CA 94804		
Record ID#	17	Distance/Direction:	0.37 miles SW
Site Name:	TIMEC COMPANY		
Address:	601 SOUTH 8TH STREET RICHMOND, CA 94804		
Record ID#	19	Distance/Direction:	0.41 miles SW
Site Name:	SIERRA ALLIED CONTRACTORS INC		
Address:	601 SOUTH 8TH STREET RICHMOND, CA 94804		
Record ID#	20	Distance/Direction:	0.41 miles SW
Site Name:	TIMEC COMPANY		
Address:	601 SOUTH 8TH STREET RICHMOND, CA 94804		
Record ID#	21	Distance/Direction:	0.42 miles SW
Site Name:	A T S PRODUCTS INC		
Address:	733 HARBOUR WAY SOUTH RICHMOND, CA 94804		
Record ID#	27	Distance/Direction:	0.46 miles S
Site Name:	ARROW TRANSPORTATION CO		
Address:	1030 WRIGHT AVE RICHMOND, CA 94807		
Record ID#	28	Distance/Direction:	0.48 miles S
Site Name:	ARROW TRANSPORTATION CO		
Address:	1030 WRIGHT AVE RICHMOND, CA 94807		
Record ID#	31	Distance/Direction:	0.48 miles SW
Site Name:	LUBRICATING SPECIALTIES COMPANY		
Address:	810 WRIGHT AVENUE RICHMOND, CA 94804		

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Record ID# 33 Distance/Direction: 0.5 miles SW

Site Name: CLAYPRO CORP
Address: 904 WRIGHT AVE UNIT 12
RICHMOND, CA 94804

COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY INFORMATION SYSTEM SITES (CERCLIS)

NONE

NO FURTHER REMEDIAL ACTION PLANNED SITES (NFRAP)

Record ID# 15 Distance/Direction: 0.32 miles NW

Site Name: POOL COVERS, INC.
Address: 834 OHIO AVE.
RICHMOND, CA 94804

Status: NO FURTHER ACTION

LEAKING UNDERGROUND STORAGE TANK SITES (LUST)

Record ID# 2 Distance/Direction: 0.11 miles W

Site Name: NYSTROM ELEMENTARY SCHOOL
Address: 230 HARBOUR WAY SOUTH
RICHMOND, CA 94804

Status: INFORMATIONAL ITEM

Record ID# 6 Distance/Direction: 0.28 miles N

Site Name: CITY OF RICHMOND CORPORATION YARD
Address: 6 13TH ST
RICHMOND, CA 94801

Status: OPEN - SITE ASSESSMENT

Record ID# 7 Distance/Direction: 0.28 miles N

Site Name: CITY OF RICHMOND CORPORATION YARD
Address: 6 13TH STREET
RICHMOND, CA 94801

Status: OPEN - SITE ASSESSMENT

Record ID# 25 Distance/Direction: 0.45 miles N

Site Name: FORMER HARBOUR WAY AUTOMOTIVE AND CHEVRON SERVICE STATION
Address: 170 HARBOUR WY
RICHMOND, CA 94804

Status: OPEN - SITE ASSESSMENT

Record ID# 26 Distance/Direction: 0.46 miles S

Site Name: RICHMOND PLATING COMPANY
Address: 738 HARBOUR WY S
RICHMOND, CA 94804

Status: INFORMATIONAL ITEM

Record ID# 32 Distance/Direction: 0.49 miles S

Site Name: WILLIAM LYON HOMES INC.
Address: 830 MARINA WAY
RICHMOND, CA 94804

Status: INFORMATIONAL ITEM

SOLID WASTE LANDFILLS, TIRE DISPOSAL CENTERS, OR TRANSFER STATIONS SITES (SWLF)

NONE

Category C: SITES WITH REGISTERED UNDERGROUND STORAGE TANKS

Refer to the pages following the site records for contact information.

REGISTERED UNDERGROUND STORAGE TANKS SITES (UST)



California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Record ID# 1

Distance/Direction: 0.1 miles W

Site Name: NYSTROM ELEMENTARY SCHOOL
Address: 230 HARBOUR WAY S
RICHMOND, CA 94804

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

EXPLANATION OF DATABASES RESEARCHED

The Explanation of Databases Researched identifies and provides details on the information sources used to create the report. It also defines the acronyms and certain environmental terminology used throughout the report.

Due to the limitations, constraints, inaccuracies and incompleteness of government information and computer mapping data currently available to Disclosure Source, certain conventions have been utilized in preparing the locations of all federal, state, and local agency sites. Most sites are depicted by a point representing their approximate address location and make no attempt to represent the actual areas of the associated site. Some NPL sites are depicted by polygons approximating their location and size. The boundaries of the polygons may be different than the actual areas of these sites and may include contaminated areas outside of the listed site. A property may be affected by contamination or environmental hazards that have not been identified on any of the databases researched for this report.

Category A: Sites With Known Environmental Concerns

U.S. EPA National Priority/Superfund List (NPL)

The U.S. Environmental Protection Agency (EPA) maintains a list of sites that fall under the Superfund program. The Superfund program was designed to provide federal resources to assist in facilitating remediation of the United States most environmentally impacted sites (based on the severity of the substance problem identified). Any site identified in this database will require remedial action or a final investigation prior to being removed from the National Priority List.

Specific questions regarding these sites should be directed to the U.S. EPA. Regional office location: 75 Hawthorne Street, San Francisco, CA 94105. (866) 372-9378. To see detailed information on specific sites go to: <https://www.epa.gov/superfund/search-superfund-sites-where-you-live>.

Hazardous Waste Sites with Corrective Action (CORRACTS)

The Resource Conservation and Recovery Act Information (RCRAInfo) is a national program management and inventory system about hazardous waste handlers. In general, all generators, transporters, treaters, storers, and disposers of hazardous waste are required to provide information about their activities to regulatory environmental agencies. CORRACTS Sites on this list are facilities that have reported violations and are subject to corrective actions.

For further information contact The United States Environmental Protection Agency. Regional office location: 75 Hawthorne Street, San Francisco, CA 94105, (866) 372-9378 or visit: <https://www.epa.gov/enviro/facts/rcrainfo/search.html>.

State Priority List (SPL)

The California Department of Toxic Substances Control's (DTSC's) database EnviroStor, is an online search tool for identifying sites that are known to be contaminated with hazardous substances as well as sites where further studies may reveal problems. EnviroStor is used primarily by DTSC's staff as an informational tool to evaluate and track activities at sites that may have been affected by the release of hazardous substances. For the purpose of this section Disclosure Source includes sites listed in the Cleanup Sites program of EnviroStor.

For more information on a specific site contact: The California Department of Toxic Substances Control 1001 I Street Sacramento, CA 95814, (916) 323-3400 or visit: <https://www.envirostor.dtsc.ca.gov/public/search.asp?basic=True>.

Category B: Sites With Potential Environmental Concerns

Treatment, Storage, Disposal, Generators (TSDG)

The Resource Conservation and Recovery Act Information (RCRAInfo) is a national program management and inventory system about hazardous waste handlers. In general, all generators, transporters, treaters, storers, and disposers of hazardous waste are required to provide information about their activities to regulatory environmental agencies. These sites are facilities that treat, store, dispose of or generate hazardous materials.

Specific questions regarding a particular site should be addressed to: The United States Environmental Protection Agency, Regional Main Office, 75 Hawthorne Street, San Francisco, California, 94105, (866) 372-9378 or visit: <https://echo.epa.gov/facilities/facility-search>.

Comprehensive Environmental Response, Compensation, and Liability Information System (CERCLIS)

The Comprehensive Environmental Response, Compensation, and Liability Information System (CERCLIS) is a database of potential and confirmed hazardous waste sites at which the EPA Superfund program has some involvement. It contains sites that are either proposed to be or are on the National Priorities List (NPL) as well as sites that are in the screening and assessment phase for possible inclusion on the NPL. Disclosure Source gathers data from the EPA's Superfund Enterprise Management System (SEMS).

For further information on sites found within this database, please contact: The United States Environmental Protection Agency, Regional Main Office, 75 Hawthorne Street, San Francisco, California, 94105, or the Superfund Information Center at (800) 424-9346 or visit:

<https://cumulis.epa.gov/supercpad/CurSites/srchsites.cfm>.

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

No Further Remedial Action Planned (NFRAP)

CERCLIS sites that to the best of EPA's knowledge, assessment has been completed and it has been determined that no further steps will be taken to list these sites on the National Priorities List (NPL). This decision does not necessarily mean that there are no hazards associated with a given site; it only means that, based upon available information, the location is not judged to be a potential NPL site.

Additional information is available from: The United States Environmental Protection Agency, Regional Main Office, 75 Hawthorne Street, San Francisco, California, 94105, (866) 372-9378. Archived site status reports can be downloaded at <https://www.epa.gov/superfund/list-8-archived-site-inventory>.

Leaking Underground Storage Tank (LUST)

The State Water Resources Control Board maintains a database of sites with leaking underground storage tanks. Leaking underground storage tanks are a major source of soil and ground water contamination. It is noteworthy to impart the fact that leaking tank information is rarely removed from the State Water Resources Control Board's Underground Storage Tank database.

For further information concerning leaking tanks, contact: The State of California Environmental Protection Agency State Water Resources Control Board, Office of Underground Storage Tanks, 1001 I Street, Sacramento, CA 95814, (916) 341-5851 or visit: <https://geotracker.waterboards.ca.gov/search.asp>.

Solid Waste Land Fills, Tire Disposal Centers, or Transfer Stations (SWLF)

Sites classified as Solid Waste Landfills include: landfills (both active and inactive), incinerators, transfer stations, recycling centers, and other facilities where solid waste is treated or stored. The California Integrated Waste Management Board maintains a database on solid waste facilities, operations, and disposal sites throughout the state of California referred to as the Solid Waste Information System (SWIS).

For further information pertaining to Solid Waste Landfills, contact: The State of California, Integrated Waste Management Board, 8800 Cal Center Drive, Sacramento, California 95826, (916) 341-6000 or visit: <https://www2.calrecycle.ca.gov/Search/> or <https://geotracker.waterboards.ca.gov/search.asp>.

Disclosure Source also includes sites listed in the Hazardous Waste Facilities program of DTSC's EnviroStor database.

For more information on a specific site contact: The California Department of Toxic Substances Control 1001 I Street Sacramento, CA 95814, (916) 323-3400 or visit: <https://www.envirostor.dtsc.ca.gov/public/search.asp?basic=True>.

Category C: Sites With Registered Underground Storage Tanks

Registered Underground Storage Tanks (UST)

The State Water Resources Control Board maintains a database of sites with registered underground storage tanks.

For further information concerning underground storage tanks, contact: The State of California Environmental Protection Agency State Water Resources Control Board, Office of Underground Storage Tanks, 1001 I Street, Sacramento, CA 95814, (916) 341-5851 or visit: <https://geotracker.waterboards.ca.gov/search.asp>.

Potential Status Field Definitions:

Abandoned: A site that has ceased accepting waste but is not closed pursuant to applicable statutes, regulations and local ordinances in effect at that time, and where there is no responsible party as determined by the local enforcement agency and board.

Absorbed: An operational status used only when existing facilities (permitted facilities) are being combined into a single.

Active: Identifies that an investigation and/or remediation is currently in progress and that DTSC is actively involved, either in a lead or support capacity. Or a facility/operation currently accepting, handling, processing, or disposing waste.

ACW (Asbestos Containing Waste) Disposal Site: A solid waste landfill that accepts asbestos containing waste.

Backlog: Identifies non-active sites which DTSC is not currently investigating or remediating. These sites generally become active when staff and/or financial resources are available. Priorities for placing a site on backlog status versus active are based on the degree of long-term threat posed by the property. Before placing a property on backlog status, DTSC considers whether interim actions are necessary to protect the public and the environment from any immediate hazard posed by the property. Often there are no parties available to fund the full cleanup of these properties.

Border Zone/Haz Waste Property (BZP/HWP): Identifies properties that went through the Border Zone Property or Hazardous Waste Property process of evaluation. Potential Border Zone properties are located within 2,000 feet of a significant disposal of hazardous waste; Hazardous Waste Property facilities/sites have a significant disposal of hazardous waste.

Case Closed: The Regional Board and the Local Agency have determined that no further work is necessary at the site.

Certified: Identifies completed sites with previously confirmed release that are subsequently certified by DTSC as having been remediated satisfactorily under DTSC oversight.

Certified Operation & Maintenance: Identifies sites that have certified cleanups in place but require ongoing Operation and Maintenance (O&M) activities. The Certified O&M status designation means that all planned activities necessary to address the contamination problems have been implemented. However, some of these remedial activities (such as pumping and treating contaminated groundwater) must be continued for many years before complete cleanup will be achieved. Prior to the Certified O&M designation, all institutional controls (e.g., land use restrictions) that are necessary to protect public health must be in place.

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Clean closed: A solid waste disposal site that has documentation of the removal of solid waste on file with the Board. When a site is clean closed, the site is considered to cease to exist as a solid waste disposal site, but records are kept to document the status of the site.

Closed: A solid waste facility, site or operation that has ceased accepting, handling, or disposing of waste (and is not inactive) and/or has documentation that closure was conducted in accordance with applicable statutes, regulations, and local ordinances in effect at the time.

Closing: A site that has ceased accepting waste and is undergoing closure consistent with an approved final closure plan. Closing applies to landfills or disposal sites undergoing closure operations pursuant to closure plan development and implementation up to certification of closure.

Completed - Case Closed: A closure letter or other formal closure decision document has been issued for the site .

Completed - Case Closed/No Monitoring: A land disposal site that ceased accepting waste and was closed in accordance with applicable statutes, regulations, and local ordinances in effect at time of closure. The land disposal site was monitored for at least thirty years and Water Board staff has determined that wastes no longer pose a threat to water quality.

Excluded: A waste tire site that does not meet the definition of a major or minor waste tire facility .

Deleted: Deleted from the Final NPL.

Final: Currently on the Final NPL.

Hazardous Waste Border Zone Property (HWP/BZP): Potential Border Zone properties are located within 2,000 feet of a significant disposal of hazardous waste, and hazardous waste property sites having significant disposal of hazardous waste.

Hazardous Waste Disposal Land Use (NOT BZP/HWP): Identifies facilities/sites that went through the Hazardous Waste or Border Zone Property process and entered into voluntary deed restrictions, but were not formally designated as either a "Border Zone" or "Hazardous Waste Property" .

Inactive - Action Required: Identifies non-active sites where, through a Preliminary Endangerment Assessment (PEA) or other evaluation, DTSC has determined that a removal or remedial action or further extensive investigation is required.

Inactive - Needs Evaluation: Identifies non-active sites where DTSC has determined a PEA or other evaluation is required .

No Action Required: Identifies sites where a Phase I Environmental Assessment was completed and resulted in a no action required determination .

No Further Action: Identifies completed sites where DTSC determined after investigation, generally a PEA (an initial assessment), that the property does not pose a problem to public health or the environment.

Non-Operating: A Treatment, Storage, Disposal or Transfer Facility (TSDTF) with no operating hazardous waste management unit(s).

Non-Operating Permit: A facility that has received a hazardous waste facility permit but, has no hazardous waste management operating unit (s). This could be a post-closure permit.

Not Currently Regulated: Never regulated by the Board or no longer subject to the Board's regulation. In the case of waste tire locations below 500 tires or tire facilities that have reduced the tire count to under 500.

Not Proposed: Not on the NPL.

Not Reported: The status was not reported by the Lead Agency .

Open - Assessment & Interim Remedial Action: An "interim" remedial action is occurring at the site AND additional activities such as site characterization , investigation, risk evaluation, and/or site conceptual model development are occurring.

Open - Eligible for Closure: Corrective action at the Site has been determined to be completed and any remaining petroleum constituents from the release are considered to be low threat to Human Health, Safety, and the Environment.

Open - Inactive: No regulatory oversight activities are being conducted by the Lead Agency .

Open - Remediation: An approved remedy or remedies has/have been selected for the impacted media at the site and the responsible party (RP) is implementing one or more remedy under an approved cleanup plan for the site.

Open - Closed/with Monitoring: A land disposal site that has ceased accepting waste and was closed in accordance with applicable statutes, regulations, and local ordinances in effect at time of closure .

Open - Closing/with Monitoring: A land disposal site that is no longer accepting waste and is undergoing all operations necessary to prepare the site for post-closure maintenances in accordance with an approved plan for closure.

Open - Inactive: A land disposal site that has ceased accepting waste but has not been formally closed or is still within the post closure monitoring period .

Open - Operating: A land disposal site that is accepting waste .

Open - Proposed: A land disposal site that is in the process of undergoing the permit process from several agencies .

Open - Site Assessment: Site characterization, investigation, risk evaluation, and/or site conceptual model development are occurring at the site. Examples of site assessment activities include, but are not limited to, the following: 1) identification of the contaminants and the investigation of their potential impacts; 2) determination of the threats/impacts to water quality; 3) evaluation of the risk to humans and ecology; 4) delineation of the nature and extent of contamination; 5) delineation of the contaminant plume(s); and 6) development of the Site Conceptual Model.

Open - Verification Monitoring: Remediation phases are essentially complete and a monitoring/sampling program is occurring to confirm successful completion of cleanup at the Site. (e.g. No "active" remediation is considered necessary or no additional "active" remediation is anticipated as needed. Active remediation system(s) has/have been shut-off and the potential for a rebound in contaminant concentrations is under evaluation).

Operating: A Treatment, Storage, Disposal or Transfer (TSDTF) Facility with an operating hazardous waste management unit(s).

Part of NPL: Site is Part of a NPL Site.

Permitted: Indicates that a facility or site held a solid waste facility permit.

Planned: A facility in the planning stages. It may be awaiting a permit and not yet accepting waste or it may be permitted but not yet constructed or accepting waste.

Pollution Characterization: The responsible party is in the process of installing additional monitoring wells and/or borings in order to fully define the lateral and vertical extent of contamination in soil and ground water and assess the hydrogeology of the area. This phase of work may also include performing aquifer tests, soil gas surveys, continued ground water gradient determinations and monitoring, and assessing impacts on surface and/or ground water.

Post Remedial Action Monitoring: Periodic ground water or other monitoring at the site, as necessary, in order to verify and/or evaluate the effectiveness of remedial action.

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

Pre-Title 27 CAI - Open/With Monitoring: A waste management unit that was closed, abandoned or inactive prior to November 27, 1984 (Pre-Title 27) and has monitoring data indicating the unit has the potential to adversely affect water quality. The site has been reopened (post-1984) and is under a detection monitoring program or implementing a corrective action program.

Pre-Title 27 CAI - Closed/With Monitoring: A waste management unit that was abandoned or inactive prior to November 27, 1984 (Pre-Title 27) but was not formally and completely closed. The site has the potential to adversely affect water quality and is implementing a detection monitoring program.

Pre-Title 27 CAI - Closed/No Monitoring: A waste management unit that was abandoned or inactive (CAI) prior to November 27, 1984 (Pre-Title 27) but was not formally and completely closed and is not implementing a monitoring program. The unit has the potential to adversely affect water quality.

Pre-Title 27 CAI - Completed - Case Closed/No Monitoring: A waste management unit that was formally and completely closed prior to November 27, 1984 (Pre-Title 27) in accordance with applicable statutes, regulations, and local ordinances in effect at time of closure. The unit does not pose a threat to water quality.

Preliminary Endangerment Assessment: An assessment of information about a site and its surrounding area. A Preliminary Assessment is designed to determine whether a site poses little or no threat to human health and the environment or if it does pose a threat, whether the threat requires further investigation. Generally includes historical review of documents and may include limited sampling of a site.

Preliminary Site Assessment Underway: Implementation of a work plan addressing the Preliminary Site Assessment Work Plan.

Preliminary Site Assessment Work Plan Submitted: A work plan/proposal has been requested of, or submitted by, the responsible party in order to determine whether groundwater has been, or will be, impacted as a result of a release from any underground tanks or associated piping. This phase of work usually includes plans for the installation and sampling of monitoring wells, soil boring sampling, additional soil excavation, and disposal or treatment of contaminated soil.

Proposed: Proposed for NPL, or a facility or operation that is in the planning and development phase and is not yet operational.

Referred: 1248 Local Agency: Identifies sites that were referred to a local agency (through the SB 1248 determination process) to supervise the cleanup of a simple waste release.

Referred: EPA: Identifies sites that, based on limited information available to DTSC, appear to be more appropriately addressed by the United States Environmental Protection Agency (U.S. EPA).

Referred: IWMB: Identifies sites that, based on limited information available to DTSC, appear to be more appropriately addressed by the California Integrated Waste Management Board (IWMB).

Referred: Other Agency: Identifies sites that, based on limited information available to DTSC, appear to be more appropriately addressed by another state or local environmental regulatory agency.

Referred: RCRA: Identifies sites that, based on limited information available to DTSC, appear to be more appropriately addressed by DTSC's Hazardous Waste Management Program and are identified as Resource Conservation and Recovery Act (RCRA).

Referred: RWQCB: Identifies sites that, based on limited information available to DTSC, appear to be more appropriately addressed by the California Regional Water Quality Control Boards (RWQCBs).

Remedial Action: Implementation of corrective action plan.

Remediation Plan: A remediation plan has been submitted evaluating long term remediation options (or corrective actions). A proposal and implementation schedule for an appropriate remediation option has also been submitted. This phase of work may also include preparing and submitting the necessary information for any permits needed prior to implementation of the plan.

Removed: Removed from Proposed NPL

Reopen Previously Closed Case: Previously closed cases may be re-opened by the Lead Agency because of new information, a change in site conditions, or other factors such as negative test results during post remedial action monitoring.

Revoked: Permit has been taken back (nullified) by the enforcement agency.

Surrendered: The voluntary relinquishment of a permit by the operator to the enforcement agency.

Suspended: Indicates that the facility, operation or site never had or does not have a Solid Waste Facility Permit.

To Be Determined: There is presently not enough information to determine a Regulatory Status or Operational Status. This information may be gathered as part of the Site Investigation Process (SIP) which includes completion of the Site Identification form and Site Assessment form or further investigation by the enforcement agency. Additionally, the operational or regulatory status may be pending permit action, enforcement action, or ongoing investigation.

Unknown - Insufficient Information.

Unpermitted: Indicates that the facility, operation or site never had or does not have a Solid Waste Facility Permit.

Voluntary Cleanup: Identifies sites with either confirmed or unconfirmed releases, and the project proponents have requested that DTSC oversee evaluation, investigation, and/or cleanup activities and have agreed to provide coverage for DTSC's costs.

Un-Locatable Sites

For reporting purposes, these potential hazard sites from any of the three categories are missing certain pieces of relevant data, such as: street addresses, zip codes, city, or county information. This may be the result of limited governmental records or data. While the site may in fact exist, the absence of accurate (or missing) information may create the inability to delineate the property's radial distance in relation to the subject property on a map. If seller or seller's agent has actual knowledge of site(s) with possible contamination or other sensitive environmental impacts not listed in this report, written notification should be provided to the buyer and buyer's agent.

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

NOTICES AND ADVISORIES

TRANSFER FEE NOTICE

This is commonly known as a "Private Transfer Tax". It is a fee imposed by a private entity such as a property developer, home builder, or home owner association, when a property within a certain type of subdivision is sold or transferred. A private transfer fee may also be imposed by an individual property owner. Private transfer fees are different from city or county Documentary Transfer Taxes. Private Transfer Fees may apply in addition to government Documentary Transfer Taxes that are due upon sale or transfer of the property .

California Civil Code Section 1098 defines a "Transfer Fee" as "any fee payment requirement imposed within a covenant, restriction, or condition contained in any deed, contract, security instrument, or other document affecting the transfer or sale of, or any interest in, real property that requires a fee be paid as a result of transfer of the real property." Certain existing fees such as government fees, court ordered fees, mechanic lien fees, common interest development fees, etc. are specially excluded from the definition of "Transfer Fee" .

To determine if the property is subject to a Transfer Fee, OBTAIN COPIES OF ALL EXCEPTIONS LISTED ON THE PRELIMINARY TITLE REPORT FROM THE TITLE COMPANY AND READ THEM TO DETERMINE IF ANY TRANSFER FEES ARE APPLICABLE. Please be aware that private transfer fees may be difficult to identify by simply reading the title report.

Effective January 1, 2008, Civil Code Section 1102.6e requires the seller to notify the buyer of whether a private transfer fee applies and if present, to disclose certain specific information about the fee.

Content of Disclosure. Civil Code Section 1102.6e requires the seller to disclose specific information about any Transfer Fee that may affect the property . Please refer to the legal code or to the C.A.R. Form NTF (11/07), provided by the California Association of Realtors, for a standard format to use in making the Transfer Fee Disclosure if you elect to investigate and make this disclosure personally .

How to Determine the Existence of a Transfer Fee. If a Transfer Fee does exist affecting the property, the document creating the fee may be on file with the County Recorder as a notice recorded against the property and should be disclosed in the preliminary title report on the property. However, the preliminary title report will merely disclose the existence of the documents affecting title, not the content of the documents. The title of a document may also not be sufficient to disclose that a transfer fee is included in its terms. Accordingly seller should (a) request the title company which issued the preliminary title report to provide copies of the documents shown as "exceptions" and (b) review each document to determine if it contains a transfer fee.

NOTICE OF YOUR "SUPPLEMENTAL" PROPERTY TAX BILL

California Civil Code 1102.6c, states that the seller, or his or her agent, is responsible for delivering a notice specifying information about supplemental tax assessments:

"California property tax law requires the Assessor to revalue real property at the time the ownership of the property changes. Because of this law, you may receive one or two supplemental tax bills, depending on when your loan closes.

The supplemental tax bills are not mailed to your lender. If you have arranged for your property tax payments to be paid through an impound account, the supplemental tax bills will not be paid by your lender. It is your responsibility to pay these supplemental bills directly to the Tax Collector .

If you have any question concerning this matter, please call your local Tax Collector's Office."

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

GAS AND HAZARDOUS LIQUID TRANSMISSION PIPELINES NOTICE

The following notice is provided to the buyer(s) of real property regarding information about the general location of gas and hazardous liquid transmission pipelines.

NOTICE REGARDING GAS AND HAZARDOUS LIQUID TRANSMISSION PIPELINES

This notice is being provided simply to inform you that information about the general location of gas and hazardous liquid transmission pipelines is available to the public via the National Pipeline Mapping System (NPMS) Internet Web site maintained by the United States Department of Transportation at <https://www.npms.phmsa.dot.gov/>. To seek further information about possible transmission pipelines near the property, you may contact your local gas utility or other pipeline operators in the area. Contact information for pipeline operators is searchable by ZIP Code and county on the NPMS Internet Web site .

Gas and hazardous liquid pipelines of any size pose a potential risk to life, property and the environment if damaged or punctured. In addition, precise locations of larger gas transmission pipelines are restricted by Federal Homeland Security policies. Additional information relating to other types and sizes of pipelines and other underground utility infrastructures may be available from local pipeline operators such as:

PG&E: <https://www.pge.com/pipelineplanning/>, San Diego Gas & Electric: <https://sdge.com/safety/gas-safety/natural-gas-safety-map>, Sacramento Municipal Utilities District : <https://www.smud.org/en/In-Our-Community/Safety-Tips/Equipment-and-lines>, Southern California Gas: <https://www.socalgas.com/stay-safe/pipeline-and-storage-safety/natural-gas-pipeline-map>. You may want to contact your local utility provider if they are not listed above.

You should also review your Preliminary Title Report for pipelines right-of-way (easements) and further investigate information about pipelines by contacting the owner or operator responsible for the pipelines, consider what factors, if any, are associated with the property's proximity to pipelines, and determine whether the information you receive is acceptable before you purchase. No excavation work should be done before contacting the One-Call Center (811).

TOXIC MOLD NOTICE (PURSUANT TO THE "TOXIC MOLD PROTECTION ACT OF 2001")

The seller, or lessor of residential, commercial or industrial property; or a public entity that owns, leases, or operates a building should provide a written disclosure to prospective purchasers, prospective tenants, renters, or occupants if the seller, lessor or public entity has knowledge of mold conditions or in specified instances has reasonable cause to believe, that mold (visible or hidden) that exceeds permissible exposure limits is present that affects the unit or building. The State Department of Health Services is designated as the lead agency for identifying, adopting, and determining permissible exposure limits to mold in indoor environments, mold identification and remediation efforts.

PUBLICATIONS PROVIDING INFORMATION ON TOXIC MOLD AVAILABLE ON THE INTERNET:

- Molds, Toxic Molds, and Indoor Air Quality
- Mold in My Home: What Do I Do?
- Stachybotrys Chartarum (atra) - A mold that may be found in water-damaged homes
- Fungi - and Indoor Air Quality
- Health Effects of Toxin-Producing Molds In California
- Mold Remediation in Schools and Commercial Buildings
- Biological Pollutants in Your Home

<https://www.cdph.ca.gov/Programs/CCDC/DCDC/DEOD/EBL/IAQ/Pages/Mold.aspx>;

www.cpsc.gov/en/Safety-Education/Safety-Guides/Home/Biological-Pollutants-in-Your-Home/; <https://www.epa.gov/mold/>

FLOOD INSURANCE NOTICE

Floods can have a devastating effect on communities, causing loss of life, property damage, and loss of income, and can have an adverse effect on government functioning. As such, the federal government has designed measures that are intended to aid disaster assistance by encouraging insurance coverage for those properties in flood disaster areas.

In addition to the flood disclosure in the Natural Hazard Disclosure Statement, Federal law {U.S. Code Title 42, Chapter 68, subchapter III, § 5154a(b)(1)} requires a seller, no later than the date on which a property is to be transferred, to notify a buyer of the requirement to purchase and maintain flood insurance , if disaster relief assistance (including a loan assistance payment) has been previously provided on that property and such assistance was conditioned on obtaining flood insurance according to Federal law. If a buyer fails to obtain and maintain flood insurance on a property disclosed to have been in a previous federal disaster area and that received disaster relief assistance, then no Federal disaster relief assistance will made available should that property subsequently be in a flood disaster area. If a seller fails to notify a buyer of the requirement to purchase and maintain flood insurance because of said property's inclusion in a Federal disaster area and Federal disaster relief assistance was received for that property, and the buyer does not obtain and maintain flood insurance, then should that property be damaged by a flood disaster and receive Federal disaster relief assistance, the seller will be required to reimburse the Federal Government for the amount of that assistance for that property.

State law (SBX1 7, Chaptered October 10, 1995) also prohibits "state disaster assistance from being provided to a person required to maintain flood insurance by state or federal law, who has canceled or failed to maintain that coverage."

The information contained here is not intended to indicate whether a property has been in a Federal disaster area and has received Federal disaster relief assistance, but merely to indicate an additional flood insurance disclosure requirement related to future disaster relief assistance availability.

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

ENERGY EFFICIENCY STANDARDS AND DUCT SEALING REQUIREMENTS NOTICE

The Energy Policy and Conservation Act directs the Department of Energy (DOE) to establish minimum efficiency standards for various products, including central air conditioners and heat pumps. On January 1, 2015, the DOE amended the energy conservation standards for residential central air conditioners and heat pumps manufactured for sale in the United States to be manufactured with an energy rating of 14 SEER (SEER, Seasonal Energy Efficiency Ratio, is the measurement of energy efficiency for the cooling performance of central air conditioners and heat pumps). Homeowners are not required to replace or upgrade existing central air conditioning units or heat pumps to comply with the new standards. Disclosure Source recommends that the potential buyer of the subject property verify the SEER rating of the central air conditioning or heat pump system through a professional such as a home inspector or through the California Home Energy Efficiency Rating Services. This agency, a home energy rating provider, is a non-profit organization that promotes energy efficiency through comprehensive analyses of homes. Additional information may be found at:

https://www.eere.energy.gov/buildings/appliance_standards/residential/central_ac_hp.html or at www.cheers.org

Additionally, beginning October 1, 2005, and with subsequent revisions to the California building energy efficiency standards, the California Energy Commission ("CEC") outlined new duct sealing requirements which require the home's ducts tested for leaks when the central air conditioner or furnace is installed or replaced. Ducts that leak 15 percent or more must be repaired to reduce the leaks. After your contractor tests and fixes the ducts, you need to have an approved third-party field verifier check to make sure the duct testing and sealing was done properly. Duct sealing is generally not required in the following situations: 1) duct systems that are documented to have been previously sealed as confirmed through field verification and diagnostic testing; 2) when systems have less than 40 feet of ductwork in unconditioned spaces like attics, garages, crawlspaces, basements or outside the building, or 3) when ducts are constructed, insulated or sealed with asbestos. There also are specific alternatives that allow high efficiency equipment and added duct insulation to be installed instead of fixing duct leaks. You also should know that any contractor failing to obtain a required building permit and failing to test and repair your ducts is violating the law and exposing you to additional costs and liability. Real estate law requires you to disclose to potential buyers and appraisers whether or not you obtained required permits for work done on your house. If you do not obtain a permit, you may be required to bring your home into compliance with code requirements for that work and you may have to pay penalty permit fees and fines prior to selling your home. According to the CEC, these duct sealing requirements apply when the following are replaced: the air handler, the outdoor condensing unit of a split system air conditioner or heat pump, the cooling or heating coil, or the furnace heat exchanger. Several cities and counties have adopted more stringent building energy standards. You can find a list of the cities and counties and a link to the modified standards on the CEC's Local Ordinances page: <https://www.energy.ca.gov/title24/2016standards/ordinances/> and <https://www.energy.ca.gov/title24/2019standards/>. More information may also be found at www.energy.ca.gov/title24/.

GOVERNMENTAL GUIDE: "WHAT IS YOUR HOME ENERGY RATING?" PUBLISHED BY THE CALIFORNIA ENERGY COMMISSION CONTAINING IMPORTANT INFORMATION REGARDING THE CALIFORNIA HOME ENERGY RATING SYSTEM (HERS) PROGRAM. IT IS AVAILABLE FOR DOWNLOAD AT WWW.DISCLOSURESOURCE.COM/DOWNLOADS/HOMEENERGYRATING.ASPX

WATER-CONSERVING PLUMBING FIXTURE NOTICE

The seller of single-family residential real property built on or before January 1, 1994 shall disclose, in writing, to the prospective buyer that Section 1101.4 of the Civil Code requires that California single-family residences be equipped with water-conserving plumbing fixtures on or before January 1, 2017, and whether the property includes any noncompliant plumbing fixtures as defined in subdivision(c) of Section 1101.3.

Further, on and after January 1, 2019, a seller of multifamily residential real property or of commercial real property built on or before January 1, 1994 shall disclose to the prospective buyer, in writing, that all noncompliant plumbing fixtures in any multifamily residential real property and in any commercial real property shall be replaced with water-conserving plumbing fixtures on or before January 1, 2019, and whether the property includes any noncompliant plumbing fixtures.

For purposes of these requirements, noncompliant plumbing fixtures mean any toilet manufactured to use more than 1.6 gallons of water per flush, any urinal manufactured to use more than one gallon of water per flush, any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute, any interior faucet that emits more than 2.2 gallons of water per minute.

SOLAR ENERGY SYSTEMS NOTICE

On and after January 1, 2018, a seller of residential real property within a common interest development shall disclose to the prospective buyer(s) the existence of any solar energy system owned by the seller and the related responsibilities of the owner according to California Civil Code Section 4746. The owner and each successive owner is required to maintain a homeowner liability coverage policy at all times and to provide the homeowner's association with the corresponding certificate of insurance within 14 days of approval of the application and annually thereafter. The owner and each successive owner of the solar energy system is responsible for the costs of damage to the common area, exclusive use common area, or separate interests resulting from the installation, maintenance, repair, removal, or replacement of the solar energy system. Further, the owner and each successive owner of the solar energy system is responsible for the costs of maintenance, repair, and replacement of the solar energy system until it has been removed and for the restoration of the common area, exclusive use common area, or separate interests after removal. The new owner will be responsible for the same disclosures mentioned above to subsequent buyers.

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

REGISTERED SEX OFFENDER DATABASE NOTICE ALSO KNOWN AS "MEGAN'S LAW"

For more than 50 years, California has required sex offenders to register with their local law enforcement agencies. However, information on the whereabouts of these sex offenders was not available to the public until the implementation of the Child Molester Identification Line in July 1995. The information available was further expanded by California's Megan's Law in 1996 (Chapter 908, Stats. of 1996).

Section 2079.10a of the California Civil Code specifies notice be provided to buyer(s) of real property of the existence of a registered sex offender database :

Notice: Pursuant to Section 290.46 of the Penal Code, information about specified registered sex offenders is made available to the public via an Internet Web site maintained by the Department of Justice at www.meganslaw.ca.gov. Depending on an offender's criminal history, this information will include either the address at which the offender resides or the community of residence and ZIP Code in which he or she resides .

The public, excluding those who have registered as sex offenders pursuant to Section 290 of the Penal Code, may search this database by a sex offender's specific name, obtain ZIP Code and city/county listings, obtain detailed personal profile information on each registrant, and use the map application to search a neighborhood or anywhere throughout the State to determine the specific location of any of those registrants on whom the law allows the State of California to display a home address.

In addition, the public may also contact the California Department of Justice, Sex Offender Tracking Program, for information on making an inquiry with the Department concerning at least six individuals as to whether any are required to register as a sex offender and subject to public notification. A fee is assessed for such inquiries, which will be deposited into the Sexual Predator Public Information Account within the Department of Justice. The contact number for the Sex Offender Tracking Program is (916) 227-4974.

METHAMPHETAMINE OR FENTANYL CONTAMINATED PROPERTY NOTICE

California law (Health and Safety Code Section 25400.28) requires property owners to notify prospective buyers in writing of any pending order that would prevent the use or occupancy of a property because of methamphetamine or fentanyl laboratory activity, and to provide the prospective buyer with a copy of the pending order. Receipt of a copy of the pending order shall be acknowledged in writing by the prospective buyer.

The "Methamphetamine or Fentanyl Contaminated Property Cleanup Act," chapter 6.9.1 specifies human occupancy standards for property that is subject to the act. These standards will be replaced by any that are devised by the Department of Toxic Substances Control, in consultation with the Office of Environmental Substances Control. In addition, this Act outlines procedures for local authorities in dealing with methamphetamine or fentanyl contaminated properties, including the use of a property lien. This notice is meant to inform prospective buyers of California disclosure law regarding methamphetamine or fentanyl lab activity , and does not indicate or imply that a particular property is or has been contaminated according to this law.

MILITARY ORDNANCE LOCATION NOTICE

California Civil Code Section §1102.15 states "The seller of residential real property subject to this article who has actual knowledge of any former federal or state ordnance locations within the neighborhood area shall give written notice of that knowledge as soon as practicable before transfer of title."

For purposes of this notice, "former federal or state ordnance locations" means an area identified by an agency or instrumentality of the federal or state government as an area once used for military training purposes, which may contain potentially explosive munitions.

"Neighborhood area" means within one mile of the residential real property.

For more information or to view the location of site(s) near a property, go to: <https://www.usace.army.mil/Missions/Environmental/FormerlyUsedDefenseSites.aspx>

MUDSLIDE / DEBRIS FLOW ADVISORY

Wildfires dramatically alter the terrain and ground conditions. Post wildfire rainstorms can produce dangerous flash floods, mudslides, and debris flows. These events are a threat to property located within or along an area which has experienced a recent wildfire.

This advisory is provided to simply inform you about the US Geologic Survey's maps that estimate the probability and volume of debris flow that may be produced by a storm in a recently burned area. They are available at:

www.usgs.gov/natural-hazards/landslide-hazards/science/emergency-assessment-post-fire-debris-flow-hazards?qt-science_center_objects=0#qt-science_center_objects

There may be additional or updated maps and resources available. To seek further information about possible mudslide and debris flow areas that may affect the property, contact the County Planning Department.

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

HABITAT SENSITIVITY AREA / ENDANGERED SPECIES ADVISORY

The California Endangered Species Act, Fish and Game Code, section 2051, states that there are certain species of fish, wildlife and plants that are in danger of, or threatened with, extinction because their habitats are being threatened, destroyed or adversely modified. Legislation declares that landowner cooperation is essential for conservation on those lands that have been identified as a habitat for endangered or threatened species. According to Section 2052.1 of the Fish and Game Code, if a person needs to address mitigation measures in relation to a particular impact on a threatened species, then those measures will be roughly proportional to the impact that the person has on those species. Disclosure Source recommends the buyer contact the local planning department and the California Department of Fish & Wildlife to ascertain what, if any, considerations might be involved as a result of being in or nearby habitat sensitive areas. Additional information is available at <https://www.wildlife.ca.gov/Conservation/CESA>.

OIL, GAS WELLS & METHANE ADVISORY

California's oil and gas production has been in decline since the 1980's and wells, many of which were drilled at the turn of the past century, have been shut down or improperly abandoned. Such wells are often found when they begin to leak oil, natural gas (methane), or water. Building construction in the past several years has expanded into areas where wells were once, or are, active. Buyer should be aware that wells may exist on or near any property and new construction may also be restricted in the vicinity of wells. The California Division of Oil, Gas and Geothermal Resources administers the program to properly abandon wells. Abandoned or active oil wells, areas containing petroleum deposits, oil fields, landfills, and gas storage facilities could present risks and safety hazards to life, health, and natural resources. Risks could include, but are not limited to, soil and ground water contamination, physical safety hazards to humans and animals, fire hazards, oil and methane seeps, and air quality problems.

Migration of methane gas into areas containing impermeable surfaces (i.e. concrete, pavement, basements, etc.) can trap the gas, resulting in the accumulation of high concentrations. Although natural methane gas is relatively harmless, high concentrations of it can be hazardous due to its highly combustible chemical composition, as well as its ability to displace oxygen. Properties located in a methane zone may be required to undergo testing and mitigation. Disclosure Source recommends that the buyer contact the local Planning, Building and Safety Department to ascertain what previous measures, if any, might have been taken to properly vent the area and what considerations might apply regarding building permits or renovations. For more information and maps visit <https://www.conservation.ca.gov/dog> and <https://www.conservation.ca.gov/dog/Pages/WellFinder.aspx>.

NATURALLY OCCURRING ASBESTOS ADVISORY

Asbestos is the common name for a group of silicate minerals that are made of thin, strong fibers. It occurs naturally in certain geologic settings in California, most commonly in ultrabasic and ultramafic rock, including serpentine rock. These rocks are commonly found in the Sierra Foothills, the Klamath Mountains, Coast Ranges, and along some faults. While asbestos is more likely found in these rock formations, its presence is not certain. Because asbestos is a mineral, asbestos fibers are generally stable in the natural environment. The fibers will not evaporate into the air. Some naturally occurring asbestos can become friable, or crushed into a powder. This may occur when vehicles drive over unpaved roads or driveways that are surfaced with ultrabasic, ultramafic or serpentine rock, when land is graded for building purposes, or at quarrying operations. Weathering and erosion may also naturally release asbestos. Friable asbestos can become suspended in the air, and under these conditions, asbestos fibers represent a significant risk to human health. Asbestos is a known carcinogen, and inhalation of asbestos may result in the development of lung cancer. Disclosure Source recommends that the buyer visit the California Department of Conservation, Division of Mines and Geology website for further information and maps at <https://www.conservation.ca.gov/cqs/Pages/HazardousMinerals/asbestos2.aspx>.

RADON ADVISORY

Radon is a colorless, odorless radioactive gas that is produced by the natural decay of uranium, which is found in nearly all soils and rocks. Radon can seep from the ground into the air in a property through openings in the ground, and its presence increases the risk of lung cancer. Radon levels are variable and may be influenced by not only geology, but also soil permeability, weather and climatic conditions, building design, condition and usage. The Environmental Protection Agency (EPA) has produced a map that assigns one of three zone designations to each county based on radon potential and each zone designation reflects the average short-term radon measurement that can be expected to be measured in a building without the implementation of radon control methods. That map is not meant to be used to determine whether a particular property should be tested for radon, but is used to assist various government agencies and organizations in focusing their radon program resources. Properties with high levels of radon have been found in all zones. Long-term (up to one year) measurement is generally recommended for the most accurate determination of radon levels. Radon testing is affordable and easily done. Test kits are available at the California Department of Public Health website at <https://www.cdph.ca.gov/Programs/CEH/DRSEM/Pages/EMB/Radon/Radon-Testing.aspx>.

The EPA recommends all structures should be tested for radon, regardless of geographic location or zone determination. If the radon level is greater than 4 picoCuries per Liter of air (pCi/L), the EPA suggests remediation. Additionally, the California Department of Conservation outlines Radon Zone areas where geologic conditions are likely to produce high, moderate, or low potential indoor radon levels above 4 pCi/L. Those maps are available at <https://www.epa.gov/radon/find-information-about-local-radon-zones-and-state-contact-information> and <https://www.conservation.ca.gov/cqs/Pages/HazardousMinerals/radon2.aspx>.

GOVERNMENTAL GUIDES: "RESIDENTIAL ENVIRONMENTAL HAZARDS: A GUIDE FOR HOMEOWNERS, HOMEBUYERS, LANDLORDS AND TENANTS"; "PROTECT YOUR FAMILY FROM LEAD IN YOUR HOME" PUBLISHED BY THE ENVIRONMENTAL PROTECTION AGENCY CONTAINING IMPORTANT INFORMATION REGARDING ENVIRONMENTAL HAZARDS LOCATED ON AND AFFECTING RESIDENTIAL PROPERTY. AVAILABLE FOR DOWNLOAD AT [HTTPS://WWW.DISCLOSURESOURCE.COM/DOWNLOADS.ASPX](https://www.disclosuresource.com/downloads.aspx) AND [HTTPS://WWW.DISCLOSURESOURCE.COM/DOWNLOADS_LEAD.ASPX](https://www.disclosuresource.com/downloads_lead.aspx)

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

SAN FRANCISCO BAY CONSERVATION AND DEVELOPMENT COMMISSION JURISDICTION

Concern for the future of San Francisco Bay prompted the California Legislature to create the San Francisco Bay Conservation and Development Commission (BCDC) in 1965. This 27-member commission is made up of appointees from various local governments and state and federal agencies.

California Civil Code Section 1103.4 Et Seq. requires sellers and/or their agent(s) to disclose to prospective buyers written notice if the property is located within the jurisdiction of the San Francisco Bay Conservation and Development Commission, and if so, accompanied by the following notice:

Notice of San Francisco Bay Conservation and Development Commission Jurisdiction

This property is located within the jurisdiction of the San Francisco Bay Conservation and Development Commission. Use and development of property within the commission's jurisdiction may be subject to special regulations, restrictions, and permit requirements. You may wish to investigate and determine whether they are acceptable to you and your intended use of the property before you complete your transaction.

The BCDC specifically notes that there are no official maps that outline the jurisdiction of the BCDC, including those maps in the San Francisco Bay Plan or other BCDC documents. According to the BCDC website:

The Commission's jurisdiction is legally delineated by California statute and is determined and implemented only by the Commission's review of applications, projects, and violations, on a case-by-case basis. Therefore, you must contact the Commission in order to determine if a project falls within its jurisdiction.

Thus, although information is available on the BCDC website at www.bcdc.ca.gov, the BCDC is stating that such information should not be relied upon for jurisdiction questions. Furthermore, THE INFORMATION PRESENTED HERE IS NOT TO BE RELIED UPON TO DETERMINE IF A PROPERTY IS WITHIN BCDC JURISDICTION, AND THE ACCOMPANYING NOTICE OF INCLUSION IN BCDC JURISDICTION, IF SO LOCATED, IS NOT INCLUDED IN INFORMATION PROVIDED BY THE COMPANY.

IN ORDER TO OBTAIN THE CASE-BY-CASE INFORMATION REGARDING WHETHER THE SUBJECT PROPERTY IS WITHIN THE BCDC'S JURISDICTION, YOU SHOULD CONTACT THE BCDC DIRECTLY. THE TELEPHONE NUMBER FOR THE BCDC IS (415) 352-3600.

The responsibilities of the BCDC include regulating all filling and dredging in the Bay and the Bay system, including sloughs and certain creeks and tributaries, as well as salt ponds and other areas diked-off from the Bay; protection of the Suisun Marsh; regulating development near the Bay; overseeing shoreline usage; and working in conjunction with state and federal activities for effective protection and use of the Bay.

According to the Commission website, it should be contacted for projects involving any kind of fill, extraction of materials, development, redevelopment, repair, dredging, or change in use in any area subject to tidal action in or around San Francisco Bay, South San Francisco Bay, San Pablo Bay, Suisun Marsh, and the Carquinez Strait, including all tidal sloughs, wetlands, creeks and rivers, marshlands, salt ponds, managed wetlands, the shoreline band, and the Priority Use Areas described in the Bay Plan. Projects in these areas may require a permit according to State law, and violations of State law may result in civil and criminal penalties.

BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD) RESIDENTIAL FIREPLACE NOTICE

The BAAQMD's Regulation 6, Rule 3, Section 304 requires any person selling, renting or leasing real property with a wood-burning device in the nine-county Bay Area to provide the following notice:

RESIDENTIAL FIREPLACE DISCLOSURE: Residential wood burning is the leading source of wintertime air pollution in the Bay Area and studies have confirmed there are significant health impacts from exposure to fine particulate matter found in wood smoke. The Bay Area Air Quality Management District ("BAAQMD") established the Wood Burning Devices (Wood Smoke Rule), Regulation 6, Rule 3 to reduce wintertime smoke pollution and protect public health.

The Wood Smoke Rule requires anyone selling, renting or leasing a property in the Bay Area to disclose the potential health impacts from air pollution caused from burning wood. Fine particulate matter, also known as PM2.5, can travel deep into the respiratory system, bypass the lungs and enter the blood stream. Exposure may cause short term and long term health effects, including eye, nose and throat irritation, reduced lung function, asthma, heart attacks, chronic bronchitis, cancer and premature deaths. Exposure to fine particulates can worsen existing respiratory conditions. High PM2.5 levels are associated with increased respiratory and cardiovascular hospital admissions, emergency department visits, and even deaths. Children, the elderly and those with pre-existing respiratory or heart conditions are most at risk from negative health effects of PM2.5 exposure. The Buyer should consult with a licensed professional to inspect, properly maintain, and operate a wood burning stove or fireplace insert according to manufacturer's specifications to help reduce wood smoke pollution. The Air District encourages the use of cleaner and more efficient, non-wood burning heating options such as gas-fueled or electric fireplace inserts to help reduce emissions and exposure to fine particulates.

When the BAAQMD issues a Winter Spare the Air Alert during the winter season from November 1 through the end of February, it is illegal to burn wood, manufactured fire logs, pellets or any solid fuels in fireplaces, wood stoves or outdoor fire pits. To check when a Winter Spare the Air Alert is issued and it is illegal to burn wood, please call 1-877-4NO-BURN or visit www.baaqmd.gov or www.sparetheair.org.

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

DISCLAIMERS

ACCEPTANCE OR USE OF THIS REPORT BY ANY PERSON CONSTITUTES AN AGREEMENT TO BE BOUND BY ALL OF THE TERMS AND CONDITIONS, AND LIMITATIONS OF LIABILITY, STATED HEREIN.

THIS AGREEMENT TO BE BOUND BY THESE TERMS AND CONDITIONS, AND LIMITATIONS ON LIABILITY, IS MADE REGARDLESS OF WHETHER THE PERSON ACCEPTING OR USING THE REPORT PAID FOR, OR ORDERED, THE REPORT.

THIS REPORT IS NOT A WARRANTY OR A POLICY OF INSURANCE

TERMS AND CONDITIONS

1. Recipient(s) Defined

"Recipient(s)" shall mean and refer to transferor(s)/seller(s), transferee(s)/buyer(s), and their respective agent(s)/broker(s) who access a copy of this Report.

2. Report Defined

"Report" shall mean and refer to any disclosure Report prepared by Disclosure Source and made available to the Recipient(s), whether the Report is provided as a hard copy, via email, or accessed via www.DisclosureSource.com

3. No Third Party Reliance

The information contained in this Report is intended for the exclusive benefit and use of the Recipient(s). No person other than the Recipient(s) should rely upon, refer to, or use this Report, or any information contained within this Report, for any purpose. Disclosure Source expressly disclaims all liability, including liability for breach of contract and negligence, to persons other than Recipient(s). The disclosures contained in this Report "shall not be used by any other party, including, but not limited to, insurance companies, lenders, or governmental agencies, for any purpose." California Civil Code section 1103.2(g).

4. Seller's and Seller's Agent's Independent Disclosure Obligations

Seller(s) and their agent(s) are independently required to make certain statutory disclosures of all material facts about the subject property within their actual knowledge. This Report does not alter, change, impact, affect, or replace seller or seller's agent's independent disclosure obligations. Disclosure Source acknowledges that there may be other disclosures required under applicable state law and/or within seller's and seller's agent's actual knowledge, and Disclosure Source makes no representations as to the adequacy or accuracy of any other representations or disclosures made under applicable state law.

5. Explanation of Services and Limitations

(a) Statutory and Local/Supplemental Disclosures, Notices and Advisories

The purpose of the Disclosure Report is to assist the Recipient(s) in notifying the prospective buyer whether the property is located in any of six statutorily defined natural hazard areas. Disclosure Source has also obtained maps that are both official and publicly available from city, county, and state sources which supplement this natural hazard information.

Disclosure Source is also providing disclosures, notices and advisories on potentially hazardous conditions or occurrences that may affect the subject property. These additional disclosures, notices and advisories are either required by the California Civil Code, local ordinance, or the information is readily available. Disclosure Source recommends contacting the local building and planning departments prior to the transfer to help ascertain, what, if any, additional requirements there might be for construction or renovation, and building code requirements for this property. Disclosure Source has not performed a visual or physical inspection of the property. This Report is not a substitute for a visual or physical inspection of the property or a geologic or engineering study. Disclosure Source assumes no responsibility for any costs or consequences, direct or indirect, arising due to the need, or the lack of need, for earthquake insurance, fire insurance or flood hazard insurance. An agent for the Federal Flood Insurance Program should be contacted to determine the actual need for flood hazard insurance.

In order to prepare this Report, either the seller (or his/her agent) or the buyer (or his/her agent) supplied Disclosure Source with the Assessor's Parcel Number ("APN") for the subject property. Disclosure Source has not verified the accuracy of the APN. This Report was prepared based upon such APN, and shall not, and does not, include any property beyond the boundaries of the subject property identified by such APN, including but not limited to, any common interest areas, structures (whether located on the subject property, or not), easements, or any right, title, interest, estate, or easement in any abutting streets, roads, alleys, lanes, ways, or waterways

Disclosure Source shall not be responsible or liable for any losses, liabilities or damages resulting from an incorrect APN. No determination is made and no opinion is expressed, or intended, by this Report concerning whether the subject property is comprised of legal lots in conformance with the California Subdivision Map Act. If the subject property is part of a condominium project, planned unit development, or other properties with a common or undivided interest area, the Report may indicate that the subject property is within the natural hazard zone if any portion of the common or undivided interest area is within the reported natural hazard zone. In preparing this Report, Disclosure Source has reviewed and relied upon the statutes identified and has reviewed the records referred to in each determination.

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

(b) Tax Information, if included in the report

California Civil Code requires that the seller of certain real property determine from local agencies whether the property is subject to a Mello-Roos Community Facilities Act and Special Tax Assessment, and if so, deliver notice of such special tax assessment(s) to the prospective buyer. The purposes of the Special Tax and Assessment Section are to (a) make preliminary determinations regarding whether secured tax rolls contain Mello Roos Community Facilities District Special Taxes or Improvement Bond Act of 1915 Lien Assessments against the subject property, and (b) assist the seller in fulfilling his/her duty to comply with California Civil Code Section 1102.6b.

When preparing the Special Tax and Assessment Section, the Company reviewed county tax records and other official and third party resources to determine whether, according to those records, the property is subject to a Special Tax pursuant to the Mello-Roos Community Facilities Act or a Special Assessment pursuant to the Improvement Bond Act of 1915. Only assessments that were levied against the property at the time the Company obtained the tax records are disclosed. No study of the public records was made by the Company to determine the presence of any other tax or assessment. Items not yet levied on the tax bill, items not appearing on the tax bill because the current owner has applied for an available exemption, supplemental taxes, unsecured property taxes, and items removed from the tax bill due to a pending judicial foreclosure suit may not be reflected on this Report. The amount of the levy, ending year, and other tax information may be subject to change in the future. Tax information can vary from property to property. The tax and assessment information in this Report is for the specific time frame and property referenced and may not be used for other properties. The Company is not responsible for any changes that may occur. In some instances, (including some condos, mobile homes, and new subdivisions), the tax roll data disclosed may represent the amount assessed for an entire parcel prior to subdivision of said parcel.

This Report and the above explanation of Special Tax and Assessments are intended to be general in nature and is not a substitute for a tax bill, title report or title insurance and may not be relied upon as such. If detailed information is desired, the Company recommends contacting the agency that administers the Special Tax and Assessment or retaining a professional consultant. The Company believes that the information and data contained in this Report is correct but we do not guarantee the accuracy of County records or the records of Bond Administrators from which this information is based, or accept liability for future tax payments in the event the information is inaccurate, incomplete or outdated. The assessed levy amounts listed are provided by the Tax Collector's office and are accurate based on the levies listed in the identified tax record as of the beginning of the identified tax year. No determination is made and no opinion is expressed, or intended, by the Report concerning the existence of property tax liabilities, unless specifically described in the Report. The applicable county tax assessor/collector updates their Tax Assessment frequently and the Company updates their Tax Assessment information yearly. If your decision to purchase this property is based in part on information contained in this Report, the Company recommends you contact the County Tax Collector's office and the Bond Administrators to verify its accuracy.

(c) Environmental Information, if included in the report

The environmental information (including reference aids) assist the seller(s) in satisfying their general obligations to provide information regarding the property's proximity to site(s) identified by appropriate County, State, and/or Federal Agencies' databases as possessing (either presently or historically) an environmental concern. Disclosure Source has not verified the accuracy, validity, or completeness of those lists and does not insure, warrant or guarantee that they are accurate and up to date. Disclosure Source has not performed a physical inspection of the property and the Report is not intended to be used as a preliminary site assessment or Phase 1 report. Disclosure Source does not make any representation as to the health hazards to humans or animals that may be associated with any of the substances that may exist at the sites or how they may affect the subject property. Disclosure Source does not report on the significance or extent of the contamination or remediation of any of the sites identified in the Agencies' databases.

6. Notice to Recipient(s)

Disclosure Source provides the Report for the benefit of all Recipient(s). Disclosure Source considers Recipient(s) to be a contracting party who is subject to the explanation of services, conditions, limitations and disclaimers herein, and by signing the Report, Recipient(s) expressly agrees to receive the services, and be bound by the conditions, limitations and disclaimers herein. This Report is for the exclusive benefit of the Recipient(s). There shall be no third party beneficiaries, and the Report may not be used in any subsequent transaction affecting the subject property or for any other real property .

7. Limitation of Liability

(a) Disclosure Source has prepared this Report solely based upon records and information provided by various governmental and private agencies. Although reasonable care has been exercised by Disclosure Source in compiling the data and information contained in the Report, Disclosure Source has assumed that these records and information are accurate and complete, and Disclosure Source has not conducted any independent verification of their accuracy or completeness. Disclosure Source shall not be liable to Recipient(s) for errors, inaccuracies or omissions in this Report if such errors, inaccuracies or omissions were based upon information contained in the public and private records used by Disclosure Source, or were known to exist by Recipient(s) on the date of delivery of this Report to Recipient(s).

(b) Disclosure Source expressly excludes from liability any disclosures or information (i) not known to Disclosure Source, (ii) not on the maps used by Disclosure Source, (iii) not recorded in the public record as of the date it was reviewed by Disclosure Source, (iv) not included in the categories included in the Disclosure Report, (v) which would be discovered by a physical inspection of the property, (vi) known to any Recipient prior to receipt of the Report, and/or (vii) regarding the health or risk to any humans or other living things which may be associated in way with any of the disclosed hazards.

(c) Disclosure Source is not responsible or liable for the costs of investigating or remediating any of the disclosed hazards.

(d) Disclosure Source shall not be liable for any damages resulting from a Recipient's inability to access the Report .

California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

(e) Any website or hyperlink contained in the Report is provided for informational purposes only, and Disclosure Source is not responsible for the accuracy of any information available from or through any referenced website or hyperlink.

(f) Disclosure Source liability for any claim, or claims, including but not limited to any claim for breach of contract or negligence, is limited to actual proven damages as a result of an error or omission in the Report and shall be measured by the difference between the amount paid for the property and the fair market value of the property as of the date of the Report, if and only if such difference is caused by the error or omission .

(g) Disclosure Source shall not be liable for any incidental damages, consequential damages, special damages, indirect damages, or lost profits suffered by Recipient(s).

8. FEMA Flood Determination

This Report may include a FEMA Flood Determination Certificate provided by a third-party. If such a certificate is included, Disclosure Source makes no representation or determination, or offers any opinion, as to whether flood insurance is required, whether private or offered as part of a government program , or any representation or determination of the cost of any such insurance .

9. Report Is Not For Credit Purposes

The information collected and disclosed in the Report is not indicative of any person's credit worthiness, credit standing, credit score, credit capacity or any other characteristics listed in Section 1681(a) of the Fair Credit Reporting Act ("FCRA"). The Report shall not be used in any way, or for any purpose, or in any manner that would cause the Report to be construed as a "consumer report" under the FCRA or any similar State or Federal statute , rule, law or regulation .

10. Change in Information

This Report is an "AS IS" Report. Updates to the databases used in this Report are determined by the responsible agency and may be made at any time and without notice. For that reason, Disclosure Source maintains an update schedule and makes reasonable efforts to use updated information. The complexities of obtaining and adapting the data into a usable format for preparing this Report necessitate some delay once the updated information is obtained; therefore the Report may be considered accurate only as of the date when the database was last reviewed and implemented by Disclosure Source. Subsequent to Disclosure Source's acquisition of government records, changes may be made to said government records and Disclosure Source shall have no obligation to update the Report or to communicate to any Recipient(s), or any other person, any changes, acts, occurrences, circumstances or agreements occurring after the date of the Report, which render inaccurate anything contained in the Report. Disclosure Source may at its sole discretion supplement the Report. The determinations made in the Report are time-sensitive. Disclosure Source shall not be liable for any impact on the Property, or the value thereof, that any change to the government records may have. Disclosure Source is under no duty to update this Report when or if new information is released or becomes available.

11. Notice of Claim

Recipient(s) must promptly notify Disclosure Source in writing of any error or omission, and give Disclosure Source an opportunity to correct such error and omission. All notices and claims shall be addressed to Disclosure Source, Claims Department, 1850 Gateway Blvd, # 400, Concord, CA 94520. Any claim must be given promptly in writing when knowledge is acquired by any Claimant of any information which is contrary to the Disclosure Report. If a written claim notice is not given promptly to Disclosure Source, all liability of Disclosure Source shall terminate with regard to the matters for which a prompt claim notice is required but only to the extent that the failure to give prompt written notice has prejudiced Disclosure Source.

12. Governing Law

These Terms and Conditions, and any Recipient's use of the Report, shall be governed by, and construed in accordance with, the laws of the State of California.

13. Resolution of Disputes (Arbitration or Small Claims)

MANDATORY ARBITRATION. This provision constitutes an agreement to arbitrate disputes on an individual basis. **Any party may bring an individual action in small claims court instead of pursuing arbitration.**

Any claim, dispute or controversy, pursuant to contract or tort law, or otherwise, arising out of or relating to this Agreement, the Report, its issuance, its contents, the disclosures, a breach of the Agreement, any controversy or claim arising out of the transaction giving rise to this Agreement, or the relationships among the parties hereto ("Claim"), shall be resolved by one arbitrator through binding arbitration administered by the American Arbitration Association ("AAA"), under the AAA Consumer Rules in effect at the time the Claim is filed ("AAA Rules"). Copies of AAA Rules and forms can be located at www.adr.org, or by calling 1-800-778-7879.

The arbitration will take place in the same county in which the property is located. The arbitrator's decision shall be final, binding, and non-appealable. Judgment upon the award may be entered and enforced in *any* court having jurisdiction. This clause is made pursuant to a transaction involving interstate commerce and shall be governed by the Federal Arbitration Act. By receiving this Report, and entering into this Agreement, the parties acknowledge that they are giving up the right to a jury trial, and the right to participate in any class action, private attorney general action, or other representative or consolidated action, including any class arbitration or consolidated arbitration proceeding. Neither party shall sue the other party other than as provided herein or for enforcement of this clause or of the arbitrator's award: any such suit may be brought only in Federal District Court for the District or, if any such court lacks jurisdiction, in *any* state court that has jurisdiction. The arbitrator, and not any federal, state, or local court, shall have exclusive authority to resolve any dispute relating to the interpretation, applicability, unconscionability, arbitrability, enforceability or formation of this agreement to arbitrate, including *any* claim that all or *any* part of the Terms and Conditions, including this agreement to arbitrate, is void or voidable. However, the preceding sentence shall not apply to the clause entitled "Class Action Waiver."

As noted above, a party *may* elect to bring an individual action in small claims court instead of arbitration, so long as the dispute falls within the jurisdictional



California Residential Disclosure Report

Property Address: 309 S 13TH ST
RICHMOND, CA 94804-2505

Parcel Number: 544-131-003-3

Date: 3/4/2020
Order Number: 200304-00277

requirements of small claims court.

CLASS ACTION WAIVER. Any Claim must be brought in the parties' individual capacity, and not as a plaintiff or class member in any purported class, collective, representative, multiple plaintiff, or similar proceeding ("Class Action"). The parties expressly waive any ability to maintain any Class Action in *any* forum. The arbitrator shall not have authority to combine or aggregate similar claims or conduct any Class Action nor make an award to *any* person or entity not a party to the arbitration. Any claim that all or part of this Class Action Waiver is unenforceable, unconscionable, void, or voidable may be determined only by a court of competent jurisdiction and not by an arbitrator.

14. Severability

In the event any provision of this Disclosure Report is held invalid or unenforceable under applicable law, this Disclosure Report shall be deemed not to include that provision and all other provisions shall remain in full force and effect.

15. Complete Agreement

These Terms and Conditions constitute the single and entire integrated agreement between Disclosure Source and the Recipient(s), and supersede and replace all prior statements, representations, discussions, negotiations and agreements.